

Annwyl Gyngorydd,

PWYLLGOR CYNLLUNIO - DYDD IAU, 4YDD EBRILL, 2019

Gweler yn amgaaedig, yr atodiadau a cynlluniau ar gyfer y cyfarfod uchod.

**Rhif ar yr
Agenda**

Eitem

- a) **E/37577 - PRESWYLFA YN LLE'R UN BRESENNOL AC ADEILADU PRESWYLFA AR WAHÂN AC IDDI DDAU LAWR Â 3 YSTAFELL WELY YN LLETTYLICKY, CRUG-Y-BAR, LLANWRDA, SA19 8SL.** (Tudalennau 3 - 20)
4. **RHANBARTH Y DWYRAIN - PENDERFYNU AR GEISIADAU CYNLLUNIO**
(Tudalennau 21 - 50)
5. **RHANBARTH Y DE - PENDERFYNU AR GEISIADAU CYNLLUNIO** (Tudalennau 51 - 76)
6. **RHANBARTH Y GORLLEWIN - PENDERFYNU AR GEISIADAU CYNLLUNIO**
(Tudalennau 77 - 96)

Yn gywir,

Mark James DYB

Prif Weithredwr

Amg.

Mae'r dudalen hon yn wag yn fwriadol



***Y PWYLLGOR
CYNLLUNIO***

04 EBRILL 2019

***RHANBARTH Y
DWYRAIN***

**PLANNING
COMMITTEE**

04 APRIL 2019

**AREA
EAST**

***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU GWRTHOD***

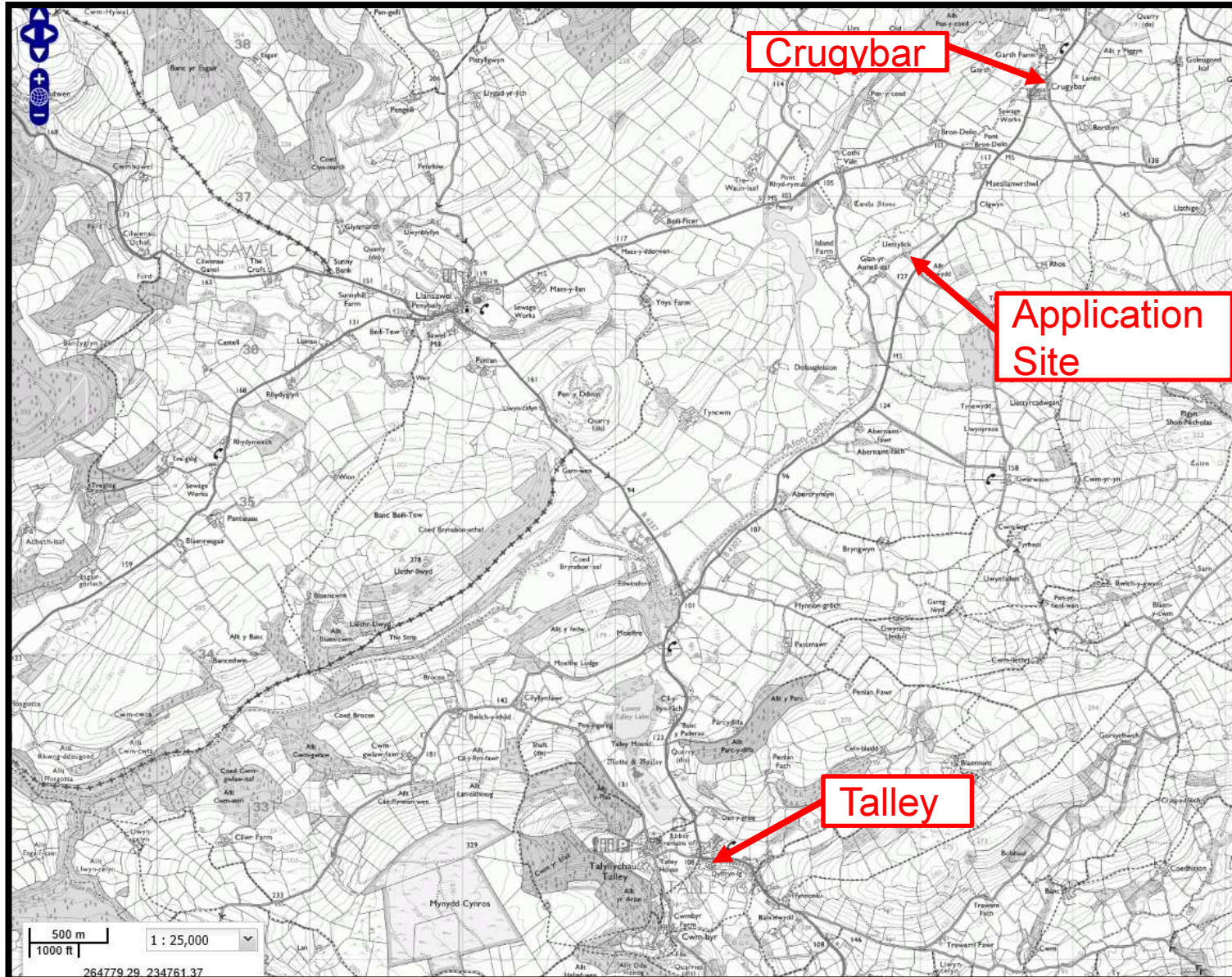
**APPLICATIONS RECOMMENDED
FOR REFUSAL**



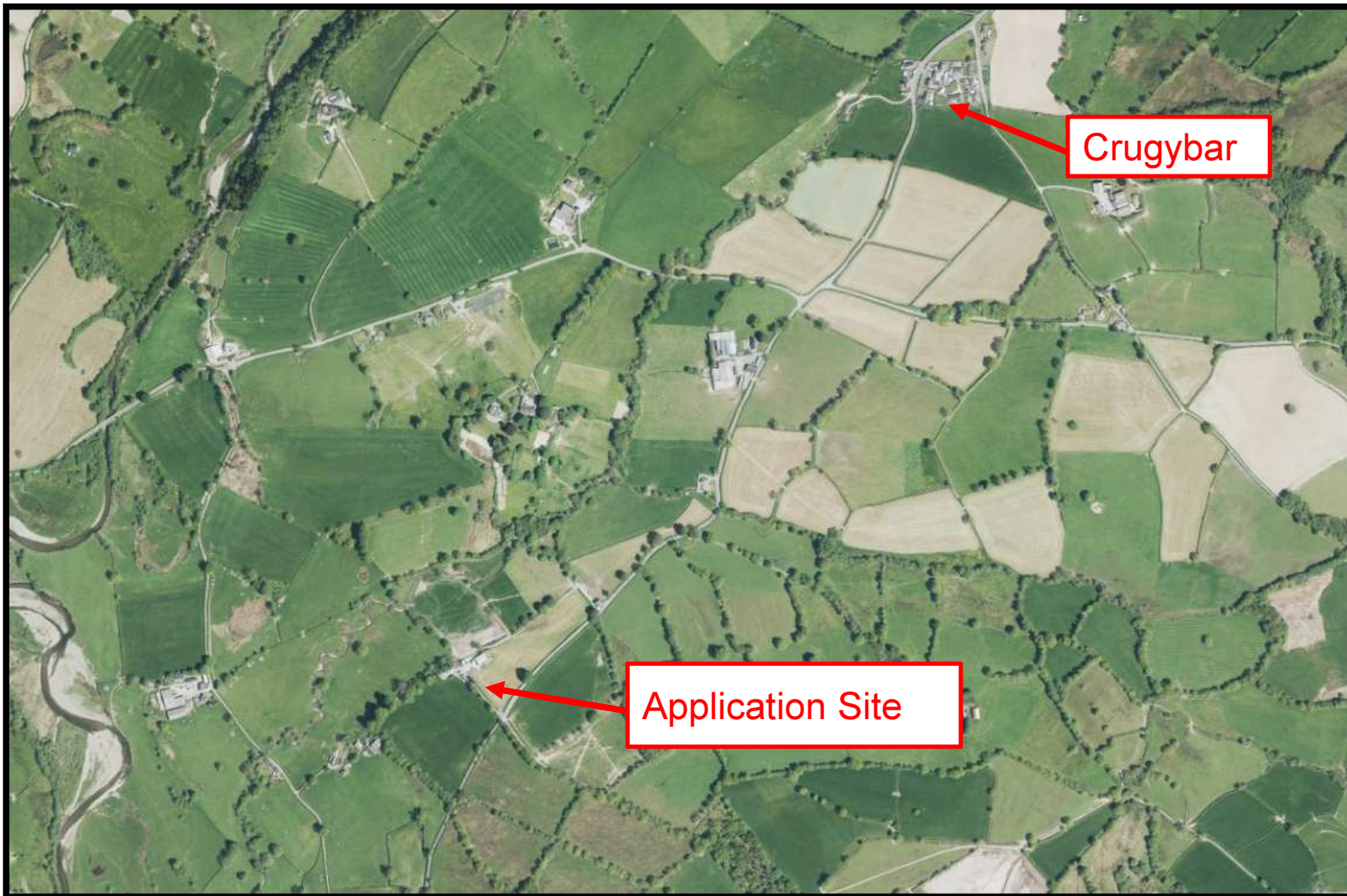
E/37577

E/37577

Location Plan

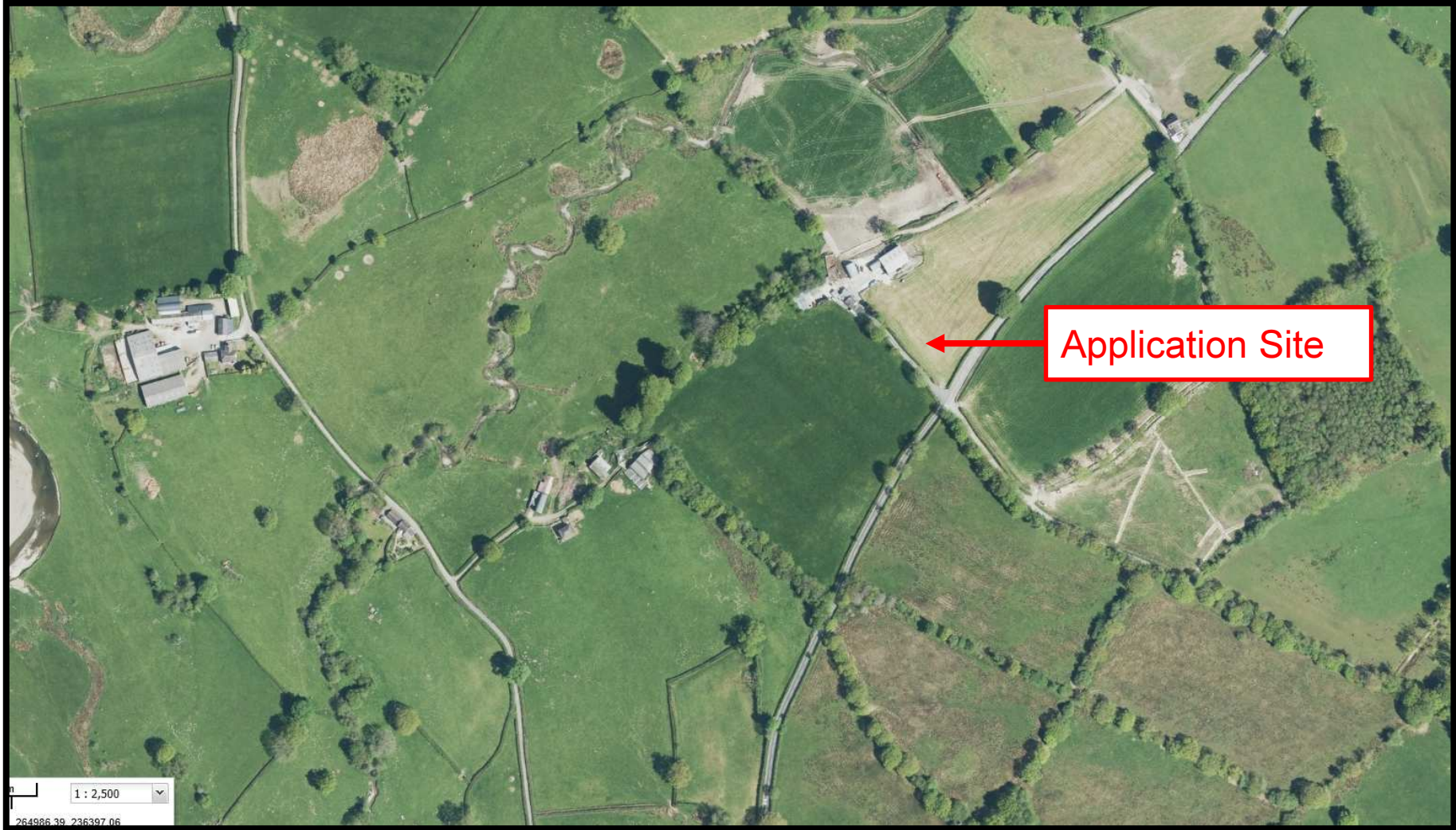


E/37577



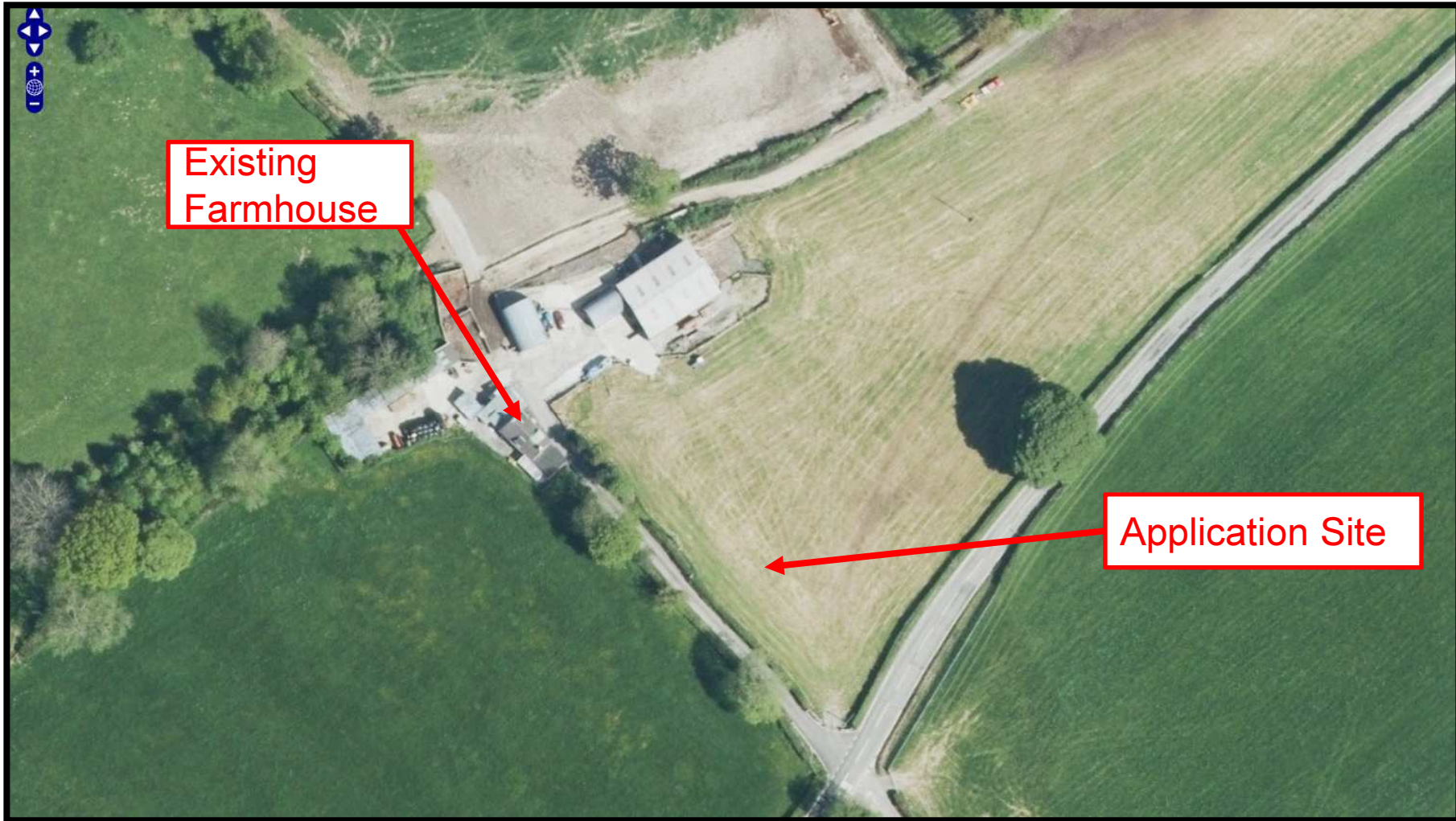
E/37577

Aerial Photo



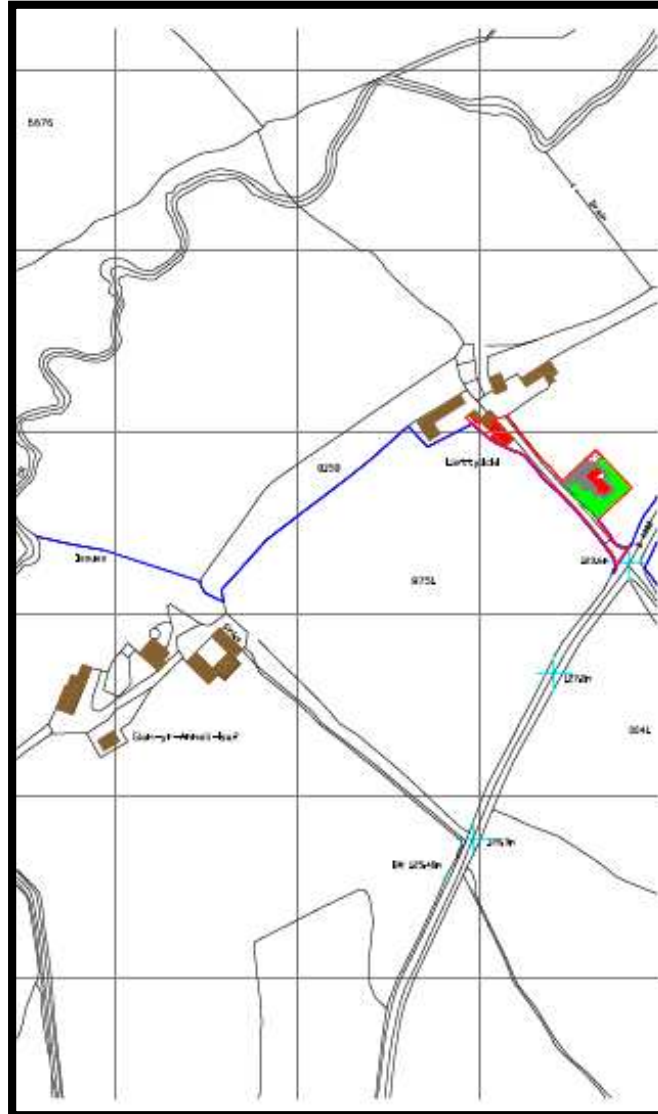
E/37577

Aerial Photo



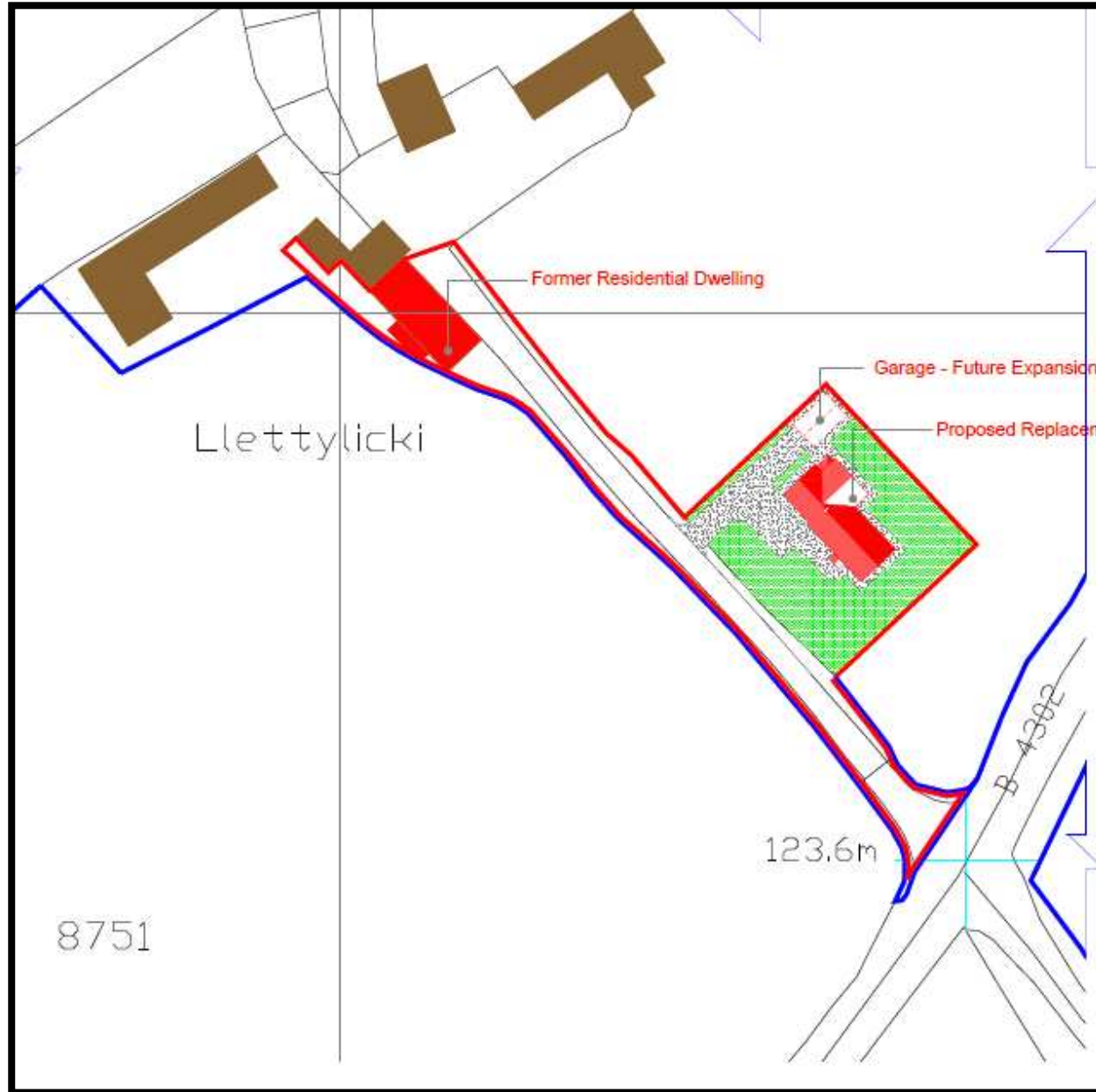
E/37557

Location Plan



E/37577

Site Plan



Tudalen 11

E/37577 Elevation and Layout plans

THIS IS A CAD PRODUCED & AMENDED BY HAND. (AutoCAD)

CYFADDASIAD LLAI
GROUND FLOOR ACCO

See Drawing

CYFADDASIAD LLAI
FIRST FLOOR ACCO

See Drawing

PROTECTION OF D

All drains within 1.0m of buildi

Drains through walls to be pro

shells and with prestressed b

SOIL/WASTE CONN

All Soil/Waste connections to

a) WCs 100 diam up to 6.0m
b) Basins 32 diam up to 1.7m
c) Sinks 32 diam up to 1.7m
d) Sinks 40 diam up to 3.0m
e) Showers 40 diam up to 3.0m

NB: All traps to be 75mm Min S

Wyneb Blaen / South West Elevation

Wyneb Ochr / North West Elevation

Llawr Cyntaf / First Floor Plan

Wyneb Ochr / South East Elevation

Wyneb Gefn / North Elevation

EXTERNAL FINISHE

For Specification of Finishes

BUILDING REGULAT

For Building Regulations Subm

detailed information

(Not Applicable to Planning Ap

partner
LABC
CYMRU

E/37577

Site Photo



Tudalen 13

E/37577

Site Photo



E/37577

Site Photo



Tudalen 15

Tudalen 16

E/37577

Site Photo



E/37577

Site Photo



Tudalen 17

Tudalen 18

E/37577

Site Photo



E/37577

Site Photo



Tudalen 19

Mae'r dudalen hon yn wag yn fwriadol

*Ardal
Dwyrain/
Area East*

**ADRODDIAD PENNAETH CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE HEAD OF
PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 04 EBRILL 2019
ON 04 APRIL 2019**

**I'W BENDERFYNU
FOR DECISION**

**ATODIAD
ADDENDUM**



ADDENDUM – Area East

| | |
|--------------------------------|--|
| <i>Application Number</i> | E/37177 |
| <i>Proposal & Location</i> | PROPOSED NEW SELF-CATERING AND B&B TOURISM ACCOMMODATION WITH MANAGERS ACCOMMODATION AND SPA, FACILITATED THROUGH FOUR RESIDENTIAL UNITS AND THE TEMPORARY SITING OF A RESIDENTIAL CARAVAN AT BRECON VIEW ECO VILLAGE, LAND TO NORTH OF DINEFWR ROAD, GARNANT, AMMANFORD |

DETAILS:

Head of Transport – Recommends the imposition of the following conditions:

1. The parking spaces and layout shown on the plans herewith approved shall be provided prior to any use of the development herewith approved. Thereafter, they shall be retained, unobstructed, for the purpose of parking only. In particular, no part of the parking or turning facilities is to be obstructed by non-motorised vehicles.
2. The access, visibility splays and turning area required, shall be wholly provided prior to any part of the development being brought into use, and thereafter shall be retained unobstructed in perpetuity. In particular, no part of the access, visibility splays, or turning area, is to be obstructed by non-motorised vehicles.
3. There shall at no time be any growth or obstruction to visibility over 0.6 metres above the adjacent carriageway crown, over the site's whole internal private road frontage within 4.0 metres of the near edge of the carriageway.
4. All surface water from the development herewith approved shall be trapped and disposed of so as to ensure that it does not flow on to any part of the public highway.
5. No surface water from the development herewith approved shall be disposed of, or connected into, existing highway surface water drains.
6. Prior to occupation of any part of the development herewith approved, a 1.8 metre wide footway shall be provided from the south-west corner of the site to the north-western most car parking space labelled no.1. This work shall be completed to the written approval of the Local Planning Authority and to the specification of the Local Highway Authority.
7. No development shall commence until details of pedestrian refuge areas from the north-western most car parking space labelled no.1 to Dynevor Road has been submitted to and approved in writing. No part of the development hereby approved is to be occupied until the refuge areas have been constructed.
8. No development shall commence until a detailed Travel Plan, setting out ways of reducing car usage and increasing walking and cycling to and from the development, has been submitted to and agreed in writing by the Local Planning Authority. The

detailed Travel Plan shall be implemented in accordance with the approved details at a timescale to be approved in writing by the Local Planning Authority.

9. No development shall take place until a detailed Construction Traffic Management Plan is submitted for the written approval of the Local Planning Authority and thereafter shall be implemented in full and as agreed.

The Applicant and Agent have agreed that a contribution is to be made towards affordable dwellings. A legal agreement in the form of a Unilateral Undertaking has been submitted to agree to this on the basis that the dwellings contribute £41.98 per square metre of internal floor space.

Similarly, a request for amended plans showing a pedestrian footway on the edge of the carriageway for the full extent of the site which explains the 4.0 metre set back in condition 3 above (2.0 metre for the car, plus another 2.0 metres for the pavement), as per the Highways request has also not been received.

Land Drainage – The formal details requested by the Land Drainage team have been submitted and have been found to be acceptable. As such, there are no objections or concerns raised by the Land Drainage team.

Ecology – No further details have been received, in particular with regard to the trees. The Agent advises that the original information regarding ecology is still applicable and that no trees will be harmed as a result of the development.

Public Protection – No final comments have been received regarding the issue of Air Quality following the information that log burners are to be used.

Mae'r dudalen hon yn wag yn fwriadol



***Y PWYLLGOR
CYNLLUNIO***

4 EBRILL 2019

***RHANBARTH Y
DWYRAIN***

**PLANNING
COMMITTEE**

04 APRIL 2019

**AREA
EAST**

***CEISIADAU YR ARGYMHELLIR EU BOD YN
CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED FOR
APPROVAL**



E/37177

37177

Tudalen 28

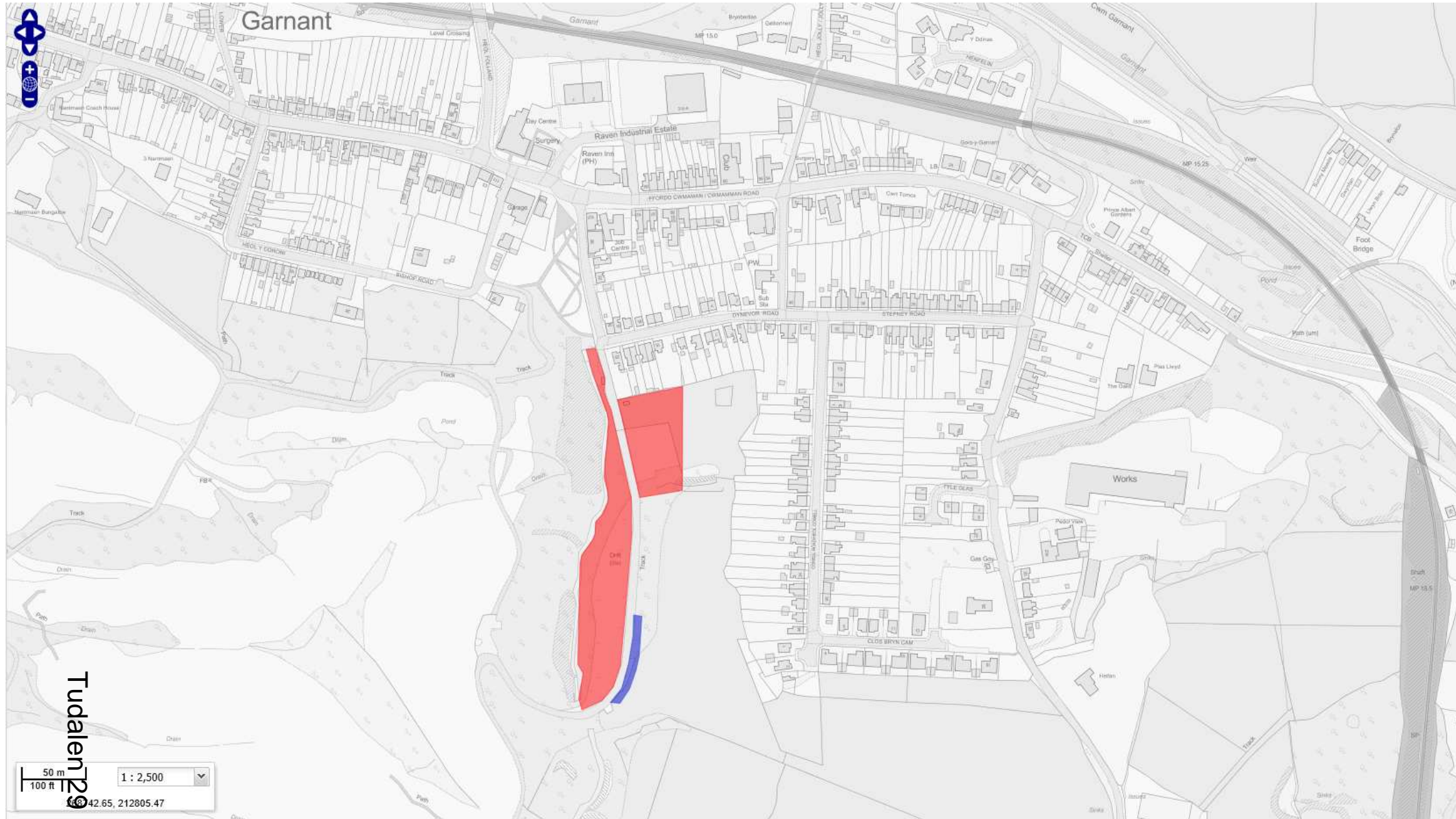


50 m
100 ft

1 : 2,500

269024.40, 212893.32

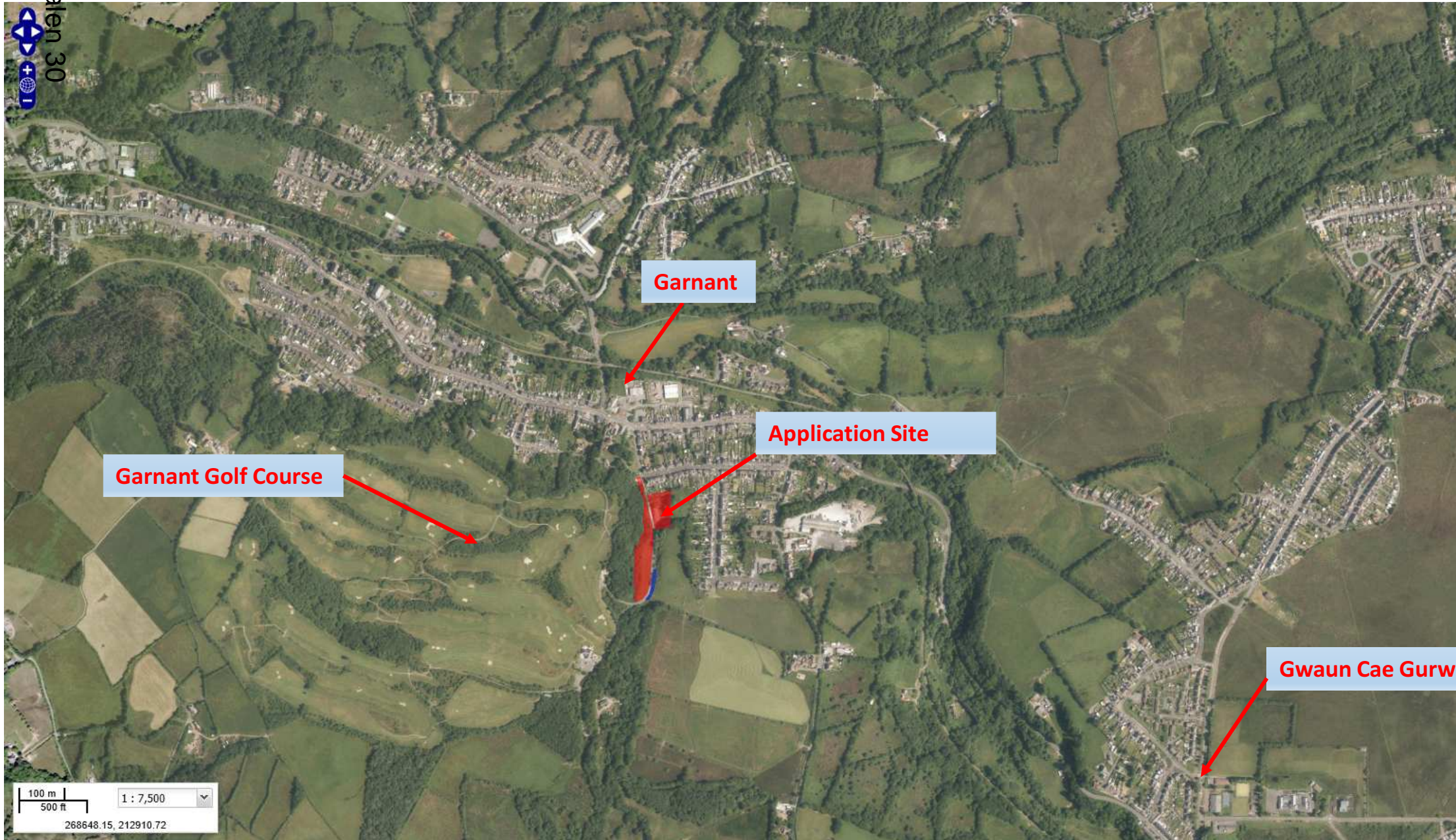
37177



37177



Tudalen 30



Garnant

Application Site

Garnant Golf Course

Gwaun Cae Gurw

100 m / 500 ft | 1 : 7,500 | 268648.15, 212910.72

37177



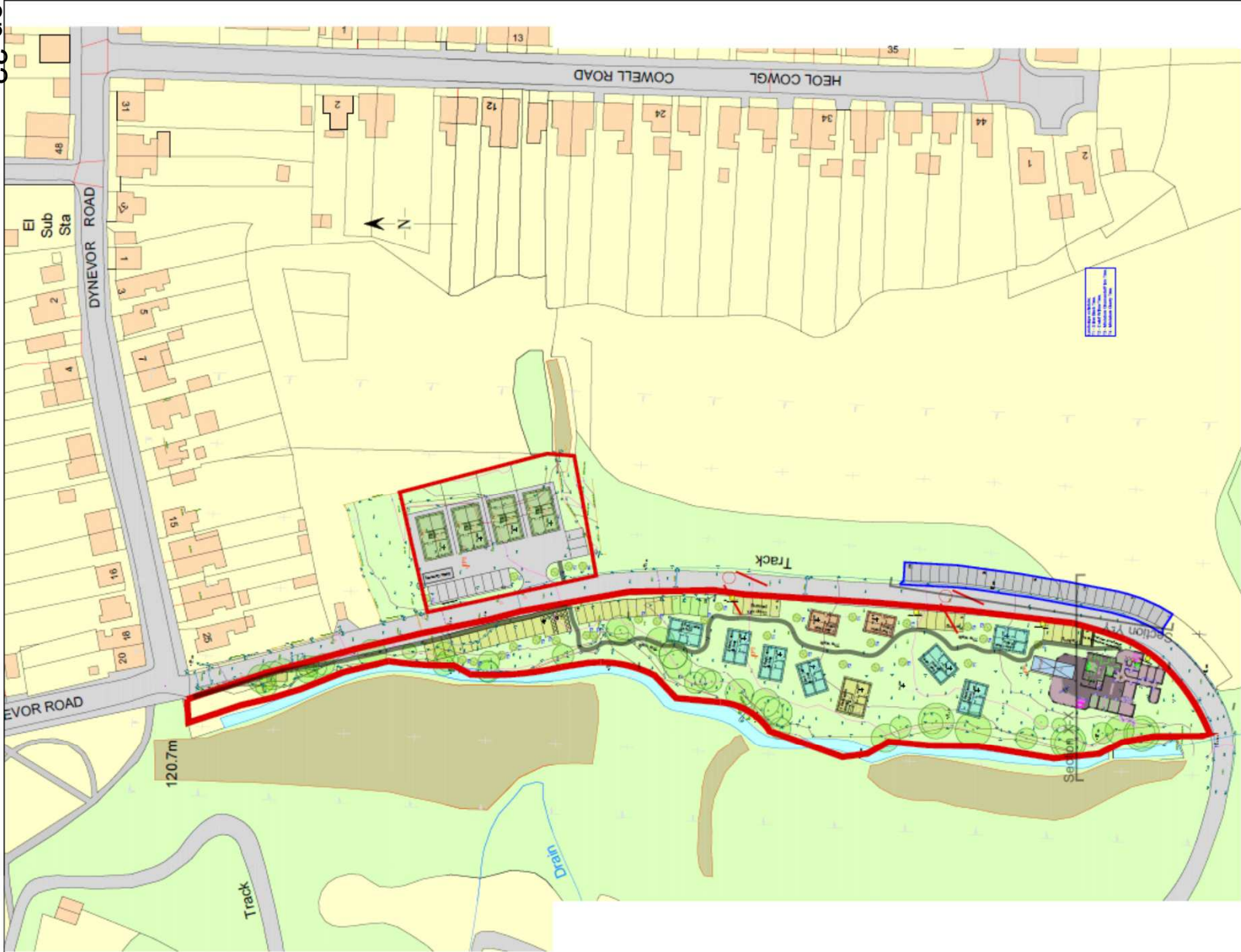
Tudalen 31

1 : 7,500

267793.79, 213345.82

37177

Tudalen 32



DO NOT SCALE FROM THIS DRAWING.

Paper size
A1

| D | | |
|-----|--------------------------|---------|
| C | Pedestrian refuge | 31.1.19 |
| B | Total floor area reduced | 6.3.18 |
| A | Re sized | 28.4.17 |
| REV | DESCRIPTION | DATE |

DR Design
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E-MAIL: info@drdesignstudio.com
WEBSITE: www.drdesignstudio.com

CLIENT: Brecon View Eco Village

JOB TITLE:
Land to North of Dinefwr Road Garmant Ammanford Carmarthenshire

DRAWING TITLE:
Site plan

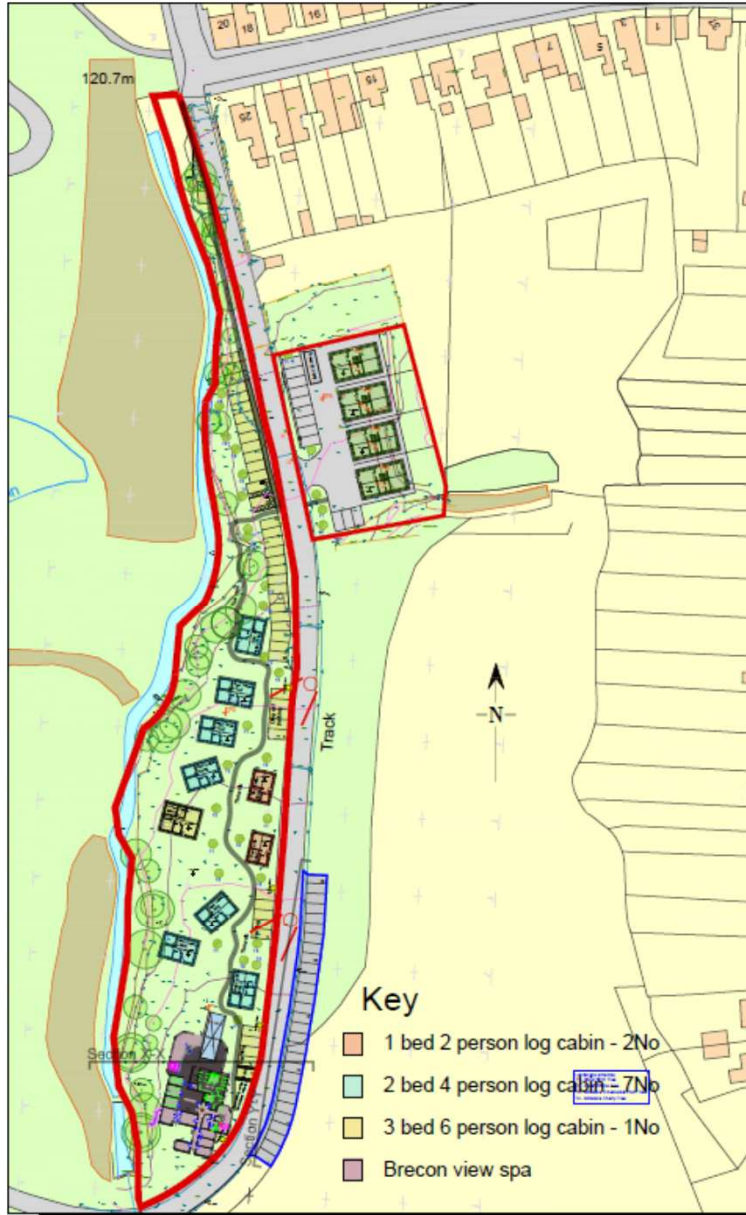
SCALE: 1/50 THIS DRAWING: Planning

DRAWN BY: C.J.W DATE:

| | |
|-----------------|----------|
| PLAN No | REVISION |
| CW507/05 | C |

37177

Tudalen 33



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JOB TITLE :

Brecon View Eco Village
Land to North of Dinefwr Road
Garnant
Ammanford
Carmarthenshire

Do Not Scale From This Drawing

DRAWING TITLE :

Site location plan
spa facility extract.

Original paper size - A3

SCALE:
1/200
1/1250

DWG STATUS:
Planning

DRAWN BY:
CJW

DATE:

PLAN No

CW507/01

REVISION

H

37177

Tudalen 34

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JOB TITLE :

Brecon View Eco Village
Land to North of
Dinefwr Road
Garnant
Ammanford
Carmarthenshire

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DRAWING TITLE :

Site layout North &
South.

Original paper size - A3

SCALE :
1/500

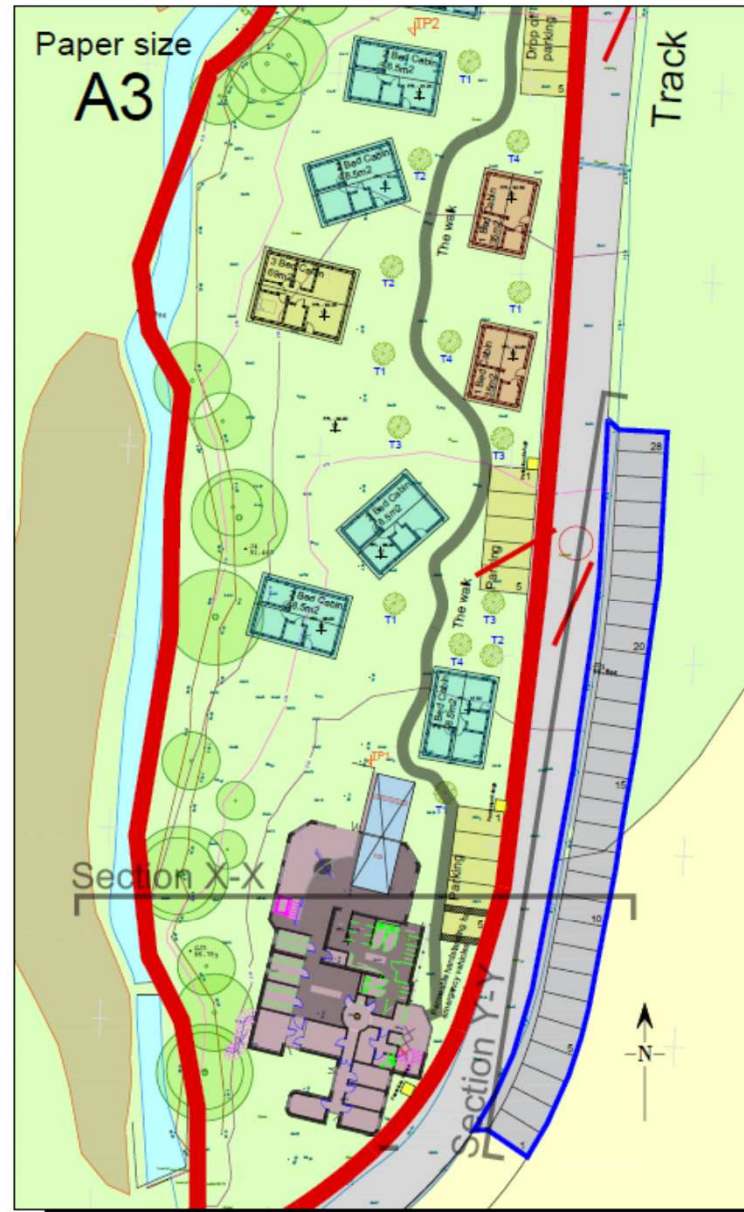
DWG STATUS:
Planning

DRAWN BY :
CJW

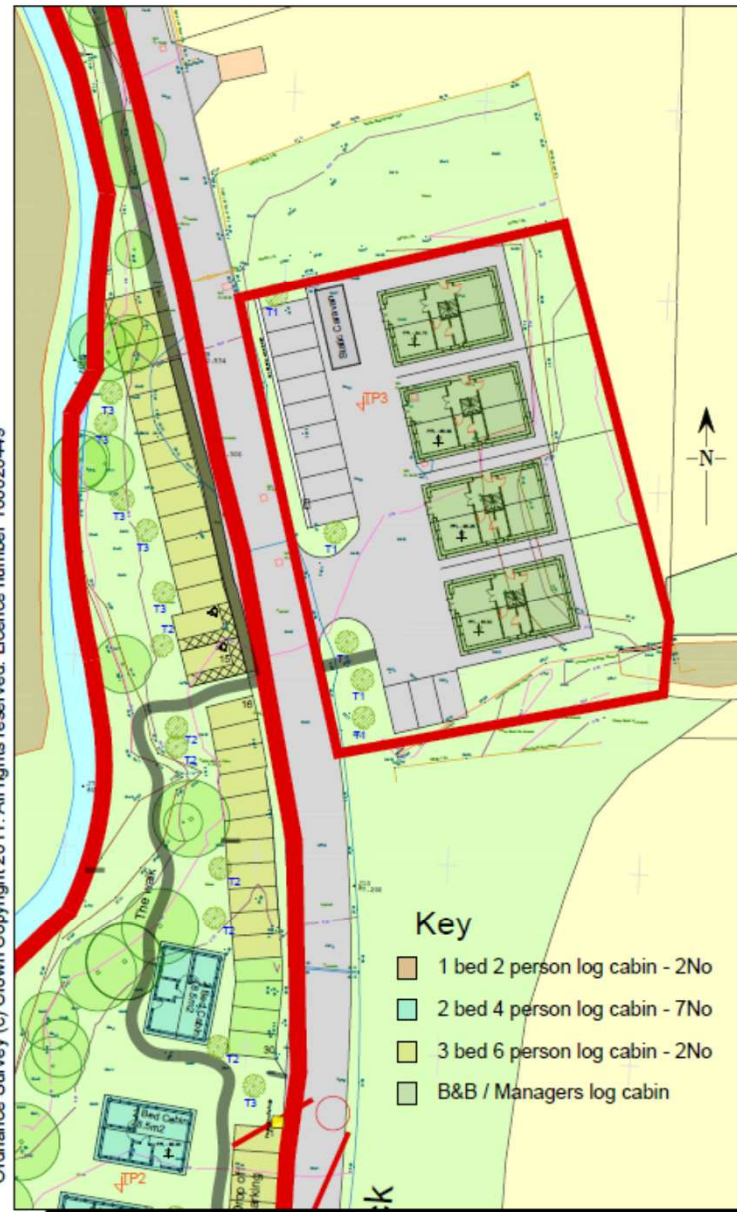
DATE :

PLAN No
CW507/02

REVISION
F



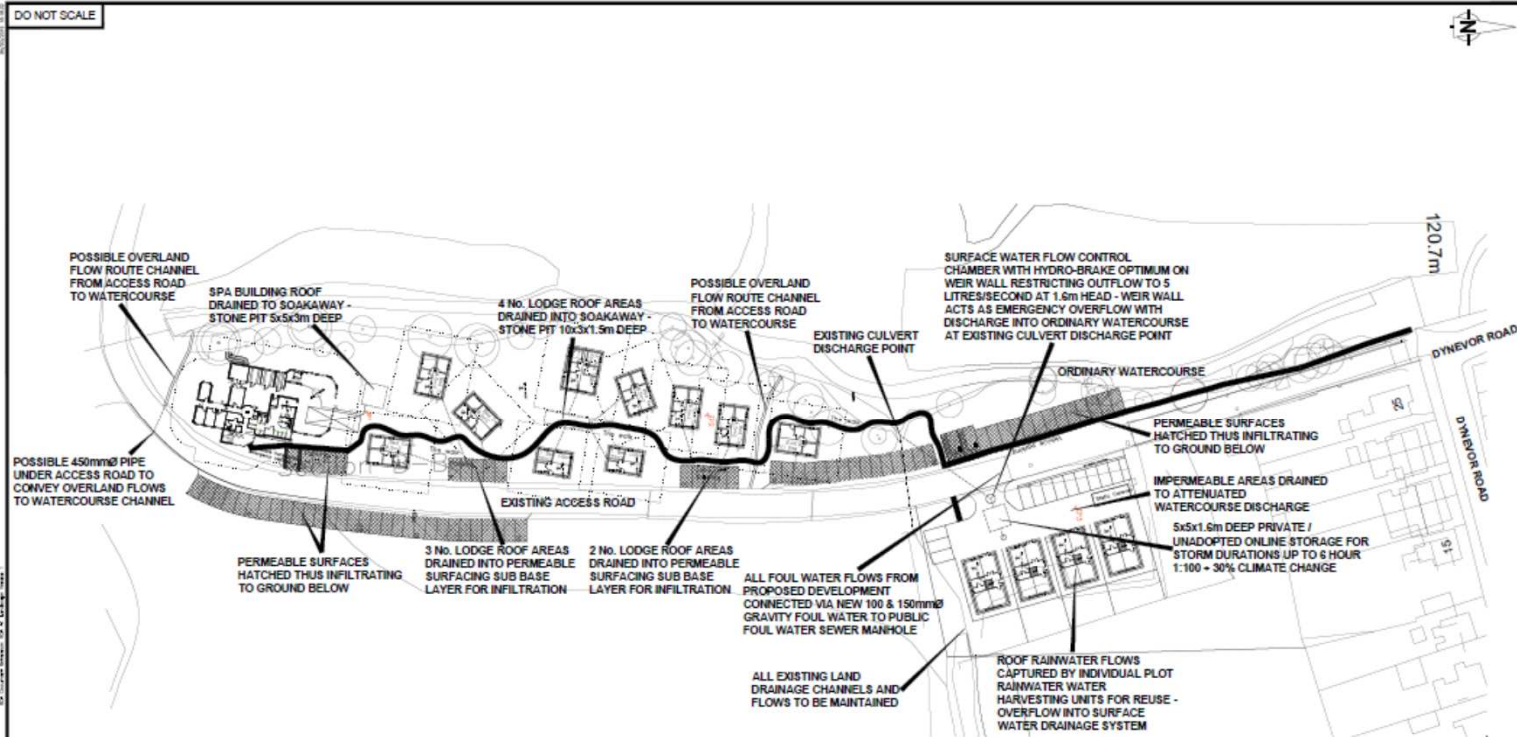
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Tudalen 35

DO NOT SCALE



NOTES:

THE PRESENCE OF THE DRAWING AND HEREIN IS NOT TO BE TAKEN AS AN ASSURANCE OR WARRANTY BY THE CONSULTANT IN ANY WAY WITHOUT THE WRITTEN CONSENT OF ROGER CASEY ASSOCIATES.

THE CONTRACTOR IS TO CHECK ALL LEGALS AND ENGINEERING BEFORE WORK COMMENCEMENT AND ANY NECESSARILY TO BE REVISED IMMEDIATELY TO THE CONSULTANT.

WORK TO BE DONE IN ACCORDANCE WITH THE DRAWING.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER ROGER CASEY ASSOCIATES DRAWINGS AND SPECIFICATIONS RELATING TO THIS PROJECT.

| REV | DESCRIPTION | DATE | BY | CHECKED |
|-----|--|----------|------|---------|
| E | HOLDING SITE OR SURROUNDING LAND (FIELD) LAND DRAINAGE PROPOSALS ADDED | 05/03/18 | PWJL | RSC |
| D | SITE LAYOUT UPDATED TO SUIT ARCHITECT'S PROPOSALS | 05/03/18 | PWJL | RSC |
| C | SITE LAYOUT UPDATED TO SUIT ARCHITECT'S PROPOSALS (SINGLE TOWN) FIELD | 05/03/18 | PWJL | RSC |
| B | SITE LAYOUT UPDATED TO SUIT ARCHITECT'S PROPOSALS (SINGLE TOWN) CHANGELINE | 05/03/18 | PWJL | RSC |
| A | PULL WATER (SINGLE) DISPOSAL FIELD | 05/03/18 | PWJL | RSC |

PLANNING

Roger Casey Associates
Consulting Civil & Structural Engineers

Ty Mansel, 6 Mansel Street,
Carmarthen, Carmarthenshire SA31 1PX
T: 01267 222 646
Units 10 & 11, Medrick Court,
Whitch Lane, Haverfordwest,
Pembrokeshire SA61 1SD
T: 01437 762 796
E: office@rcas-eng.co.uk
W: www.rcas-eng.co.uk

CLIENT:
BEACON VIEW ECO VILLAGE

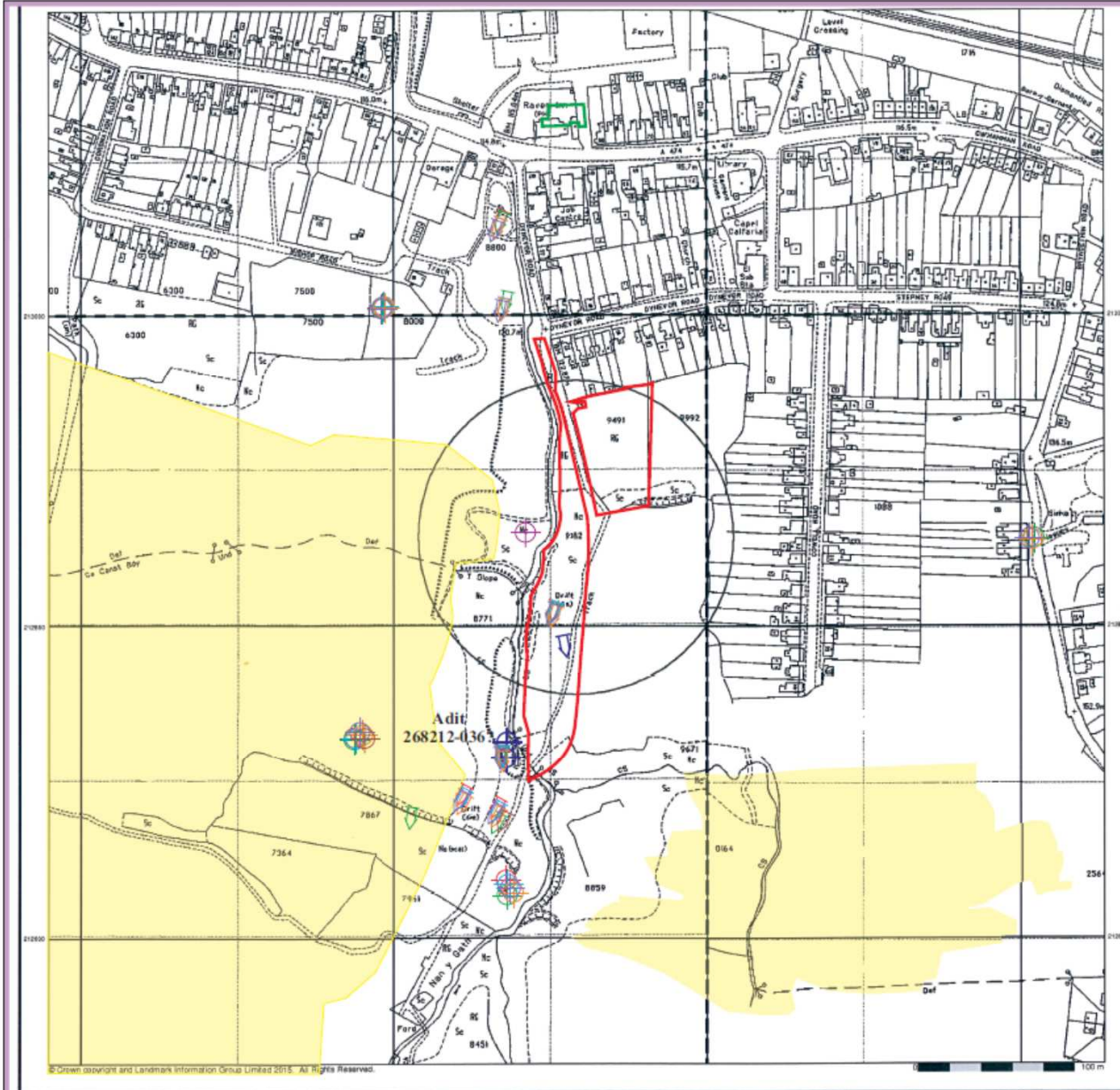
ARCHITECTURAL CONSULTANT:
**DR DESIGN
LLANDEILO**

PROJECT:
**PROPOSED DEVELOPMENT OFF
DYNEVOR ROAD, GARNANT,
AMMANFORD, CARMS, SA18 1NP**

DRAWING TITLE:
DRAINAGE STRATEGY SITE PLAN

| DESIGNED BY | CHECKED BY | DATE |
|-------------|------------|----------|
| PWJL | RSC | 05/03/18 |

ORIGINAL DRAWING A1
© Roger Casey Associates Limited 2017
SCALE: 1:500
PROJECT NO: 20031/DS1
DRAWING NO: E



Study on Land at Garnant Golf Club.

Mine Entries Composite Plan.

Plan Scale: 1:2,500.

Key to Symbols:

 Approximate Position of Site.

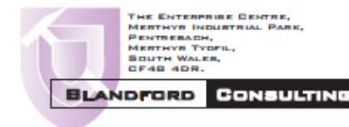
Notes:

North is at top of plan.

Colour Key for Mine Entry Data Source:-

- 1878 OS Plan
- 1898 OS Plan
- 1906 OS Plan
- 1916 OS Plan
- LPL 477 Carnant Colliery Abandonment Plan
- 11695 Raven Colliery (Trigloyn Seam) Abandonment Plan
- 2198.1 Raven Colliery Abandonment Plan
- 16381.1 & 17596 Opencast Completion Plans
- Not Identified on Plans.

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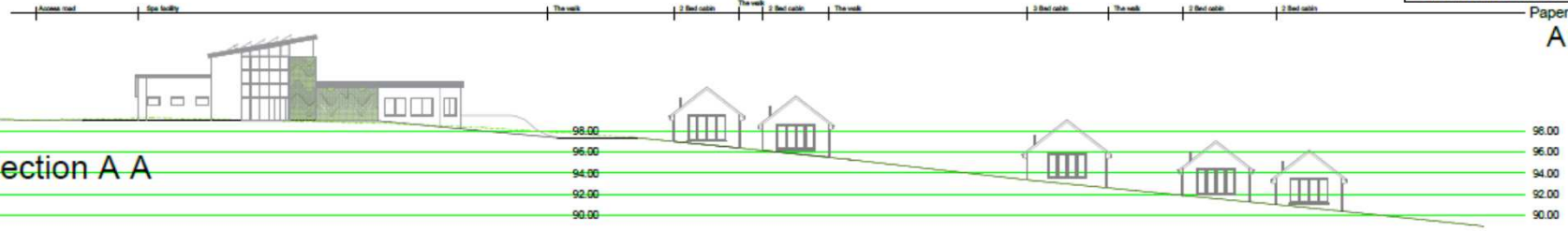
Geologists Working With The Environment...

37177

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Paper size
A1

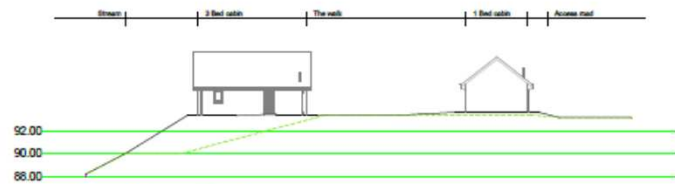
Section A-A



Section B-B



Section C-C



Section D-D



| D | | |
|-----|------------------------|--------|
| C | Spa facility amended | 1.8.18 |
| B | Section B-B amended | 5.3.18 |
| A | Spa unit re-positioned | 2.5.17 |
| REV | DESCRIPTION | DATE |

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WEB: www.drdesign.co.uk

CLIENT: Brecon View Eco Village

JOB TITLE:
Land to North of Dinefwr Road
Garnant
Ammanford
Carmarthenshire

DRAWING TITLE:
Site cross sections

SCALE: 1/200 DWG STATUS: Planning

DRAWN BY: CJW DATE:

PLAN No: CW507/08 REV: C

Tudalen 37

37177

Tudalen 38

DO NOT SCALE FROM THIS DRAWING.

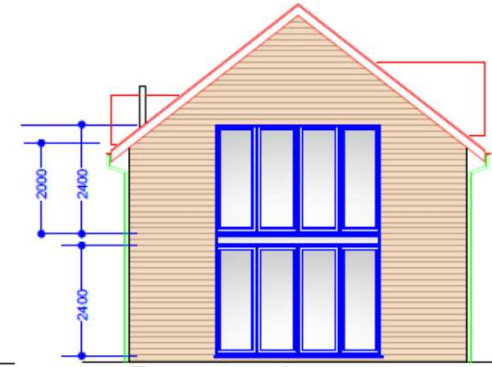
Paper size
A1



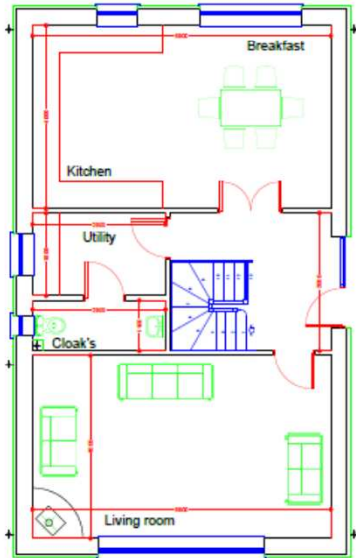
Side elevation.



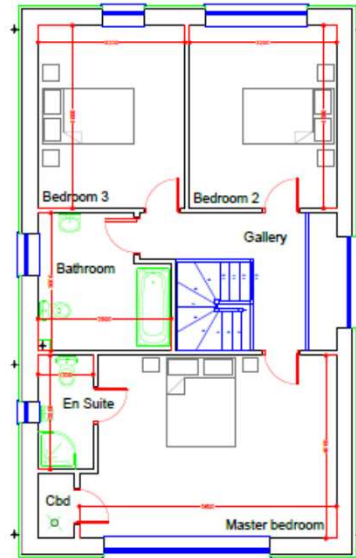
Side elevation.



Rear elevation.



Proposed ground floor layout (145.6m²)



Proposed first floor layout

Material finishes:
Cedar cladding to external walls or approved similar
Timber window and door units
Slate roof covering.
Timber weatherboarding
Stainless steel rain water goods



Front elevation.

| D | | |
|-----|-------------|------|
| C | | |
| B | | |
| A | | |
| REV | DESCRIPTION | DATE |

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CLIENT: Brecon View Eco Village

JOB TITLE:
Land to North of Dinefwr Road
Garnant
Ammanford
Carmarthenshire

DRAWING TITLE
Residential units

SCALE: 1/50
DRAWING: Planning

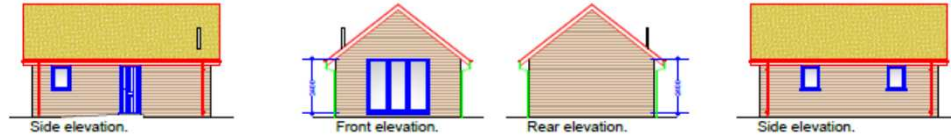
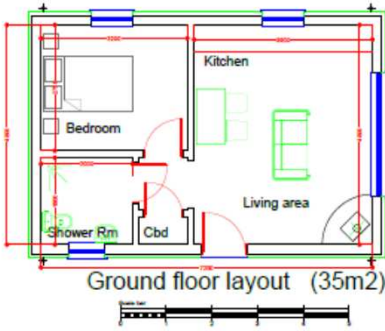
DRAWN BY: C/JW DATE:

PLAN No
CW507/06

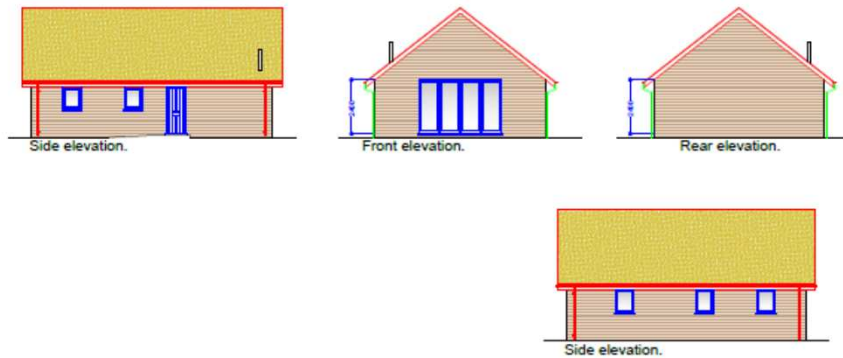
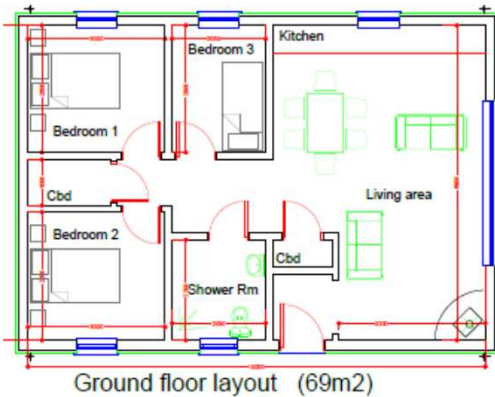
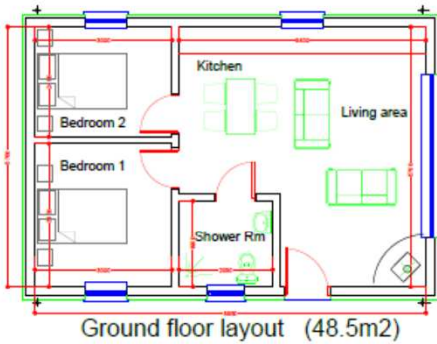
ALL DIMENSIONS TO BE CHECKED ON SITE

37177

Tudalen 39



Material finishes:
 Cedar cladding to external walls or approved similar
 Timber window and door units
 Grassed roof structure
 Timber weatherboarding
 Stainless steel rain water goods



DO NOT SCALE FROM THIS DRAWING.
 Paper size
A1

ALL PLANS TO BE MADE IN CONFORMANCE WITH THE INFORMATION ACCORDING TO THE RELEASE OF INFORMATION SCHEDULES.

IT IS THE RESPONSIBILITY OF THE SUBMITTER TO LOCATE ALL SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS. WE HAVE NOT INDICATED LOCATION OR AVAILABILITY OF SERVICES SERVICES FOR THE PROPOSED WORKS.

IT IS THE RESPONSIBILITY OF THE SUBMITTER TO ENSURE THE NECESSARY PARTY WALLS ARE PROCURED WHERE NECESSARY PRIOR TO COMMENCEMENT OF WORKS.

CONSTRUCTION METHODS HAVE BEEN OBTAINED UNDER THE CONSTRUCTION ACT. PLEASE CHECK YOUR DESIGN OF THE PROPOSED CONSTRUCTION WITH A COMPETENT HEALTH & SAFETY PROFESSIONAL.

TIMBER FRAMEWORK AN ADDITIONAL AREA MAY BE THE FRAMEWORK COMPLETELY PROTECTED BY BRICKS AND INSULATION PLASTERBOARD & EXTERIOR COATED CONCRETE FINISHING. CONTRACTORS WILL BE ASKED TO CHECK THE ADDITIONAL FRAME PLAN AND CHECK WITH THE LOCAL AUTHORITY TO CHECK THE ADDITIONAL FRAME PLAN TO THEIR REQUIREMENTS TO ENSURE ALL NECESSARY PRESENTATIONS, DURING THE CONSTRUCTION PHASE.

EXACT BOUNDARY POSITIONS & DETAILS TO BE DETERMINED ON SITE PRIOR TO CONSTRUCTION AND SHOULD BE AVOIDED WHERE POSSIBLE. THE DESIGN IS BASED ON THE INFORMATION PROVIDED AND SHOULD BE CHECKED WITH THE LOCAL AUTHORITY PRIOR TO COMMENCEMENT OF WORKS.

DESIGN IS BASED ON THE INFORMATION PROVIDED AND SHOULD BE CHECKED WITH THE LOCAL AUTHORITY PRIOR TO COMMENCEMENT OF WORKS. THE DESIGN IS BASED ON THE INFORMATION PROVIDED AND SHOULD BE CHECKED WITH THE LOCAL AUTHORITY PRIOR TO COMMENCEMENT OF WORKS.

| D | | |
|-----|-------------|---------|
| C | | |
| B | General | 19.1.18 |
| A | Re sized | 27.3.17 |
| REV | DESCRIPTION | DATE |

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 WEBSITE: www.drdesign.co.uk

CLIENT: Brecon View Eco Village

JOB TITLE:
 Land to North of Dinefwr Road Garmant Ammanford Carmarthenshire

DRAWING TITLE:
 Log cabins.

SCALE: 1/100
 DRAWN BY: Planning

DESIGNED BY: CJW
 DATE:

| | |
|----------|----------|
| PLAN No | REVISION |
| CW507/04 | B |

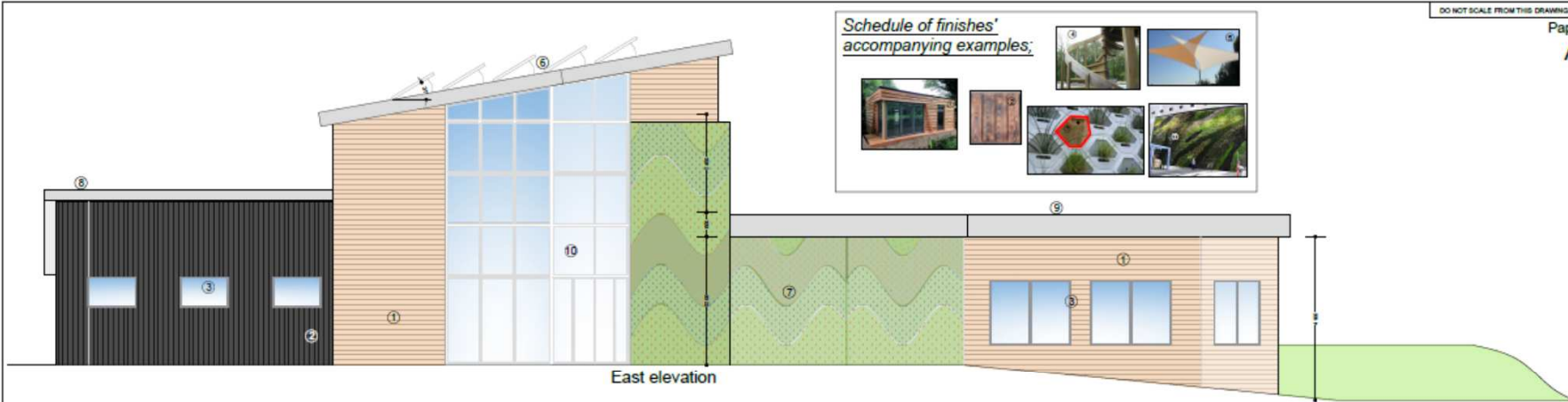
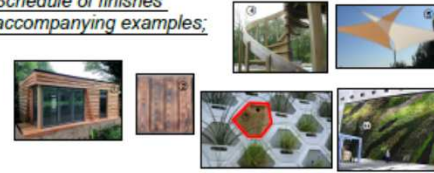
37177

Tudalen 40

DO NOT SCALE FROM THIS DRAWING.

Paper size
A1

Schedule of finishes' accompanying examples;



East elevation



West elevation



South elevation



North elevation

Schedule of finishes:

- ① -Waney edge Larch cladding.
- ② -Scorched larch cladding.
- ③ -Aluminium window and door frames.
- ④ -Timber spiral staircase.
- ⑤ -Warped effect timber and canvas sun shading.
- ⑥ -Photovoltaic panels at 31degrees over mono pitch fibreglass roof.
- ⑦ -Living Wall planting panels.
- ⑧ -Mono pitch raised seam roof covering.
- ⑨ -Green roof.
- ⑩ -Curtain wall entrance atrium.

| D | | |
|-----|-------------|------|
| C | | |
| B | | |
| A | | |
| REV | DESCRIPTION | DATE |

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CLIENT : Brecon View Eco Village

JOB TITLE:
Land to North of
Dinefwr Road
Garnant
Ammanford
Carmarthenshire

DRAWING TITLE:
Brecon View Spa -
Elevations (1/2)

SCALE: 1:50 / 1:100 DWG STATUS: Planning

DRAWN BY: LJW DATE: July 2018

PLAN No:
CW507-11

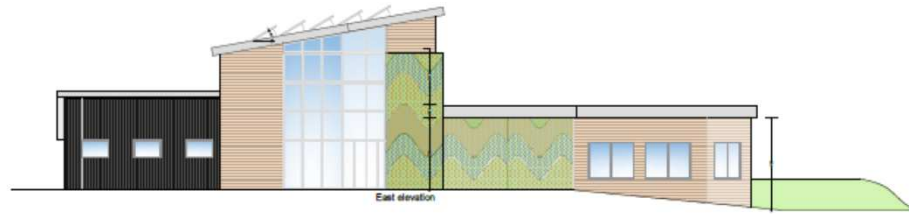
ALL DIMENSIONS TO BE CHECKED ON SITE.

37177

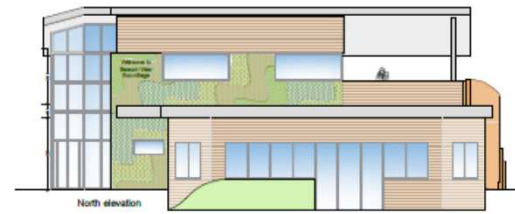
DO NOT SCALE FROM THIS DRAWING.
Paper size
A1



West elevation



East elevation



North elevation



South elevation

Schedule of finishes:

- ① -Waney edge Larch cladding.
- ② -Scorched larch cladding.
- ③ -Aluminium window and door frames.
- ④ -Timber spiral staircase.
- ⑤ -Warped effect timber and canvas sun shading.
- ⑥ -Photovoltaic panels at 31degrees over mono pitch fiberglass roof.
- ⑦ -Living Wall planting panels.
- ⑧ -Mono pitch raised seam roof covering.
- ⑨ -Green roof.
- ⑩ -Curtain wall entrance atrium.

| REV | DESCRIPTION | DATE |
|-----|-------------|------|
| D | | |
| C | | |
| B | | |
| A | | |

DR
Design

Architectural Services
Davies Richards Design Ltd.
Llandello - 01752 823321
Mumtaz - 01752 347892
F:01752 347892
info@drdesign.co.uk
www.drdesign.co.uk

CLIENT: Brecon View Eco Village

JOB TITLE:
Land to North of
Dinefwr Road
Garnant
Ammanford
Carmarthenshire

DRAWING TITLE:
Brecon View Spa -
Elevations (2/2)

SCALE: 1:50 / 1:100 (AS APPLICABLE) Planning

DRAWN BY: LJW DATE: July 2018

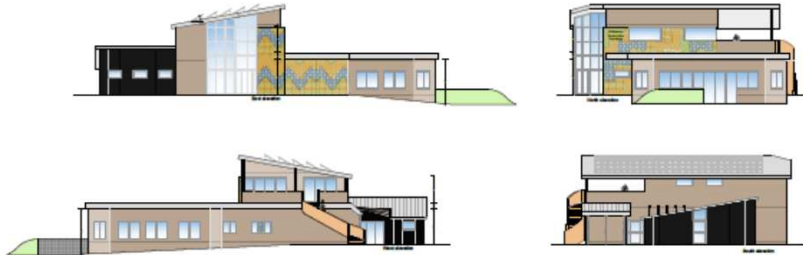
PLAN No
CW507-12

ALL DIMENSIONS TO BE CHECKED ON SITE.

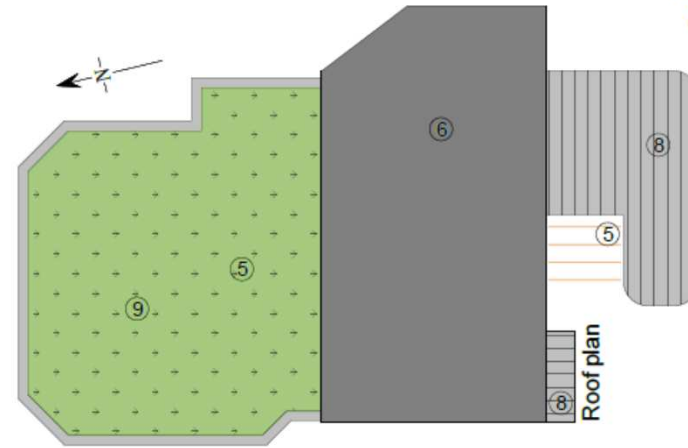
Tudalen 41

37177

Tudalen 42



DO NOT SCALE FROM THIS DRAWING
Paper size
A1



First Floor

- Schedule of finishes:*
- Waney edge Larch cladding.
 - Scorched larch cladding.
 - Aluminium window and door frames.
 - Timber spiral staircase.
 - ⑤ -Warped effect timber and canvas sun shading.
 - ⑥ -Photovoltaic panels at 31degrees over mono pitch fiberglass roof.
 - Living Wall or planting panels.
 - ⑧ -Mono pitch raised seam roof covering.
 - ⑨ -Green roof.
 - Curtain wall entrance atrium.

Total floor area = 521.5m²

| D | | |
|---|--------------|-------------------------|
| C | | |
| B | | |
| A | | |
| REV | DESCRIPTION | DATE |
| <p style="text-align: center;">DR Design</p> <p style="text-align: center; font-size: small;">Architectural Services Davies Richards Design Ltd Llandello - 01552 822551 Mumbles - 01792 347662 E-MAIL - info@drdesign.co.uk WEB - www.drdesign.co.uk</p> | | |
| CLIENT : Brecon View Eco Village | | |
| JOB TITLE : Land to North of Dinefwr Road Carmar Ammanford Carmarthenshire | | |
| DRAWING TITLE : Brecon View Spa - First floor layout & Roof plan. | | |
| Original paper size: A1 | | |
| SCALE : | 1:50 / 1:100 | DATE OF ISSUE: Planning |
| DRAWN BY : | LJW | DATE: July 2018 |
| PLAN No | CW507-10 | REVISIONS |

37177



Tudalen 43

37177

Tudalen 44



37177



Tudalen 45

37177

Tudalen 46



37177



Tudalen 47

37177

Tudalen 48



37177



Tudalen 49

37177

Tudalen 50



*Ardal Del/
Area South*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 04 EBRILL 2019
ON 04 APRIL 2019**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**



ADDENDUM – Area South

| | |
|--------------------------------|--|
| <i>Application Number</i> | S/34180 |
| <i>Proposal & Location</i> | NEW CUBICLE HOUSING FOR YOUNG STOCK (RETROSPECTIVE) AT CWMBEREM FARM, PONTYBEREM, LLANELLI, SA15 5BP |

DETAILS:

CONSULTATIONS

Head of Transport – Has been asked to comment on the highway issues raised and states that there are no observations on the basis of the number of cattle not intensifying. In respect of the allegation that the road is unacceptably muddy, it was previously reported that there have been no recent substantiated complaints received that required action and that remains the case now.



***Y PWYLLGOR
CYNLLUNIO***

04 EBRILL 2019

RHANBARTH Y DE

**PLANNING
COMMITTEE**

04 APRIL 2019

AREA SOUTH

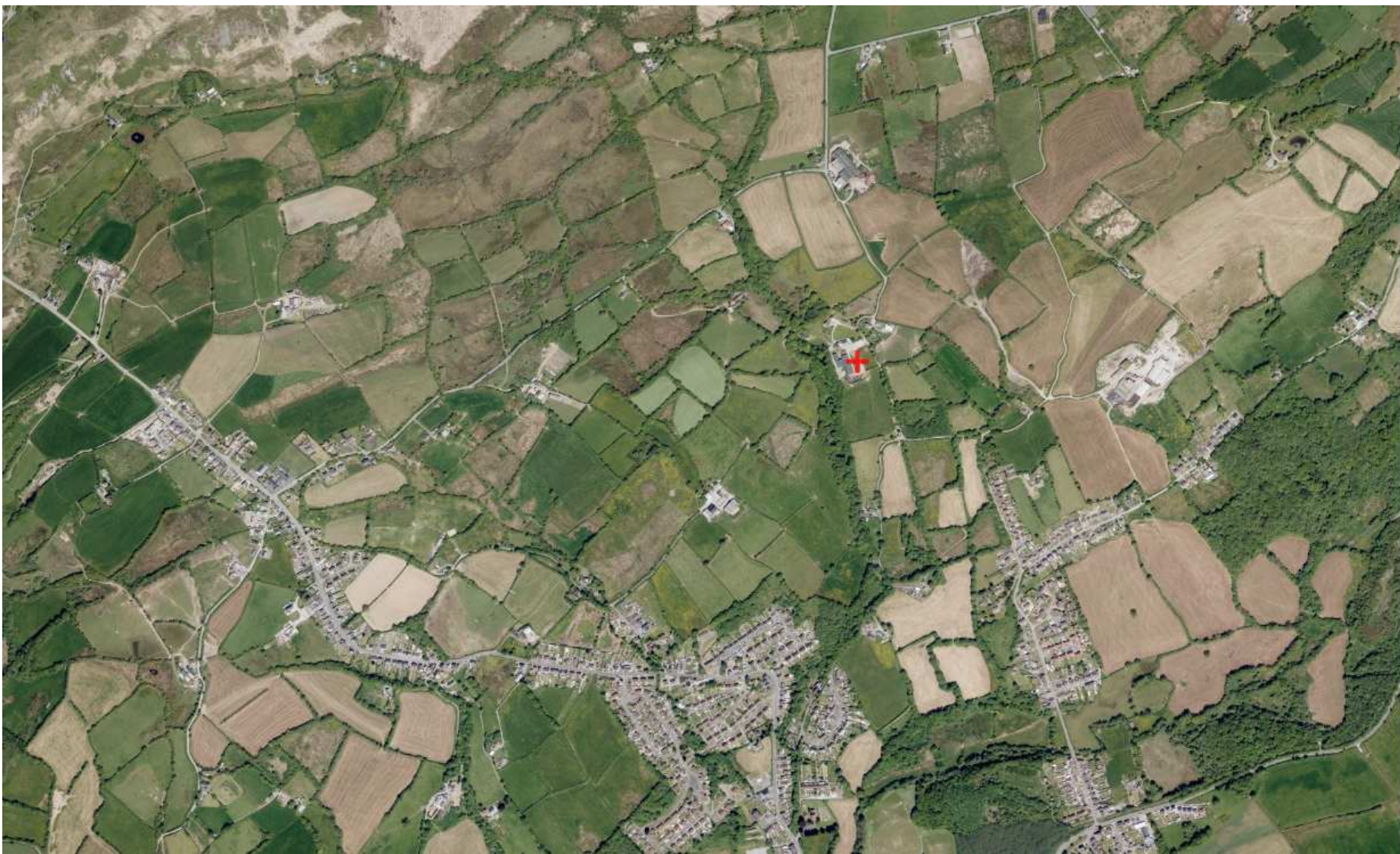
***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED
FOR APPROVAL**



S/34180

S/34180



S/34180

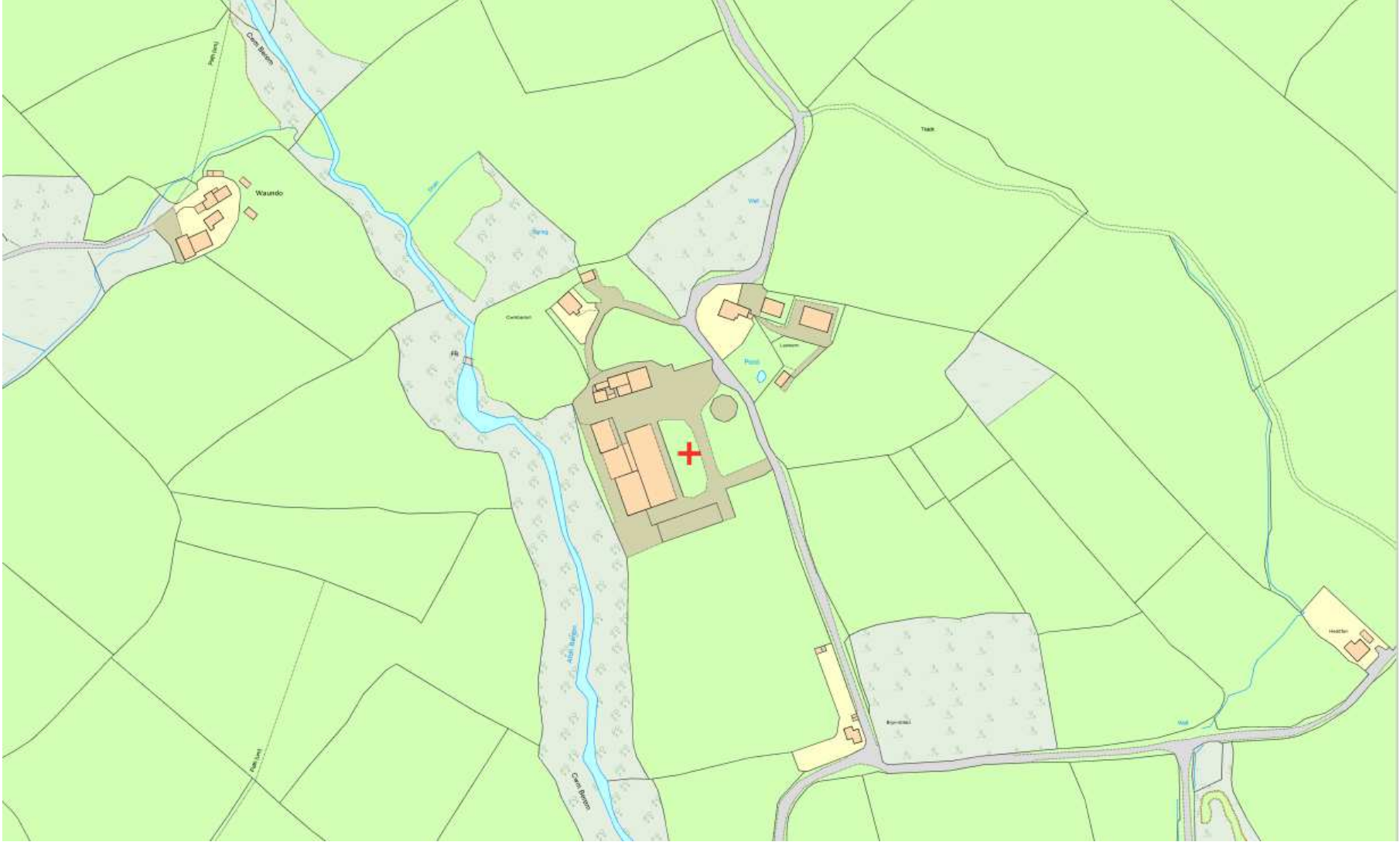


Tudalen 58

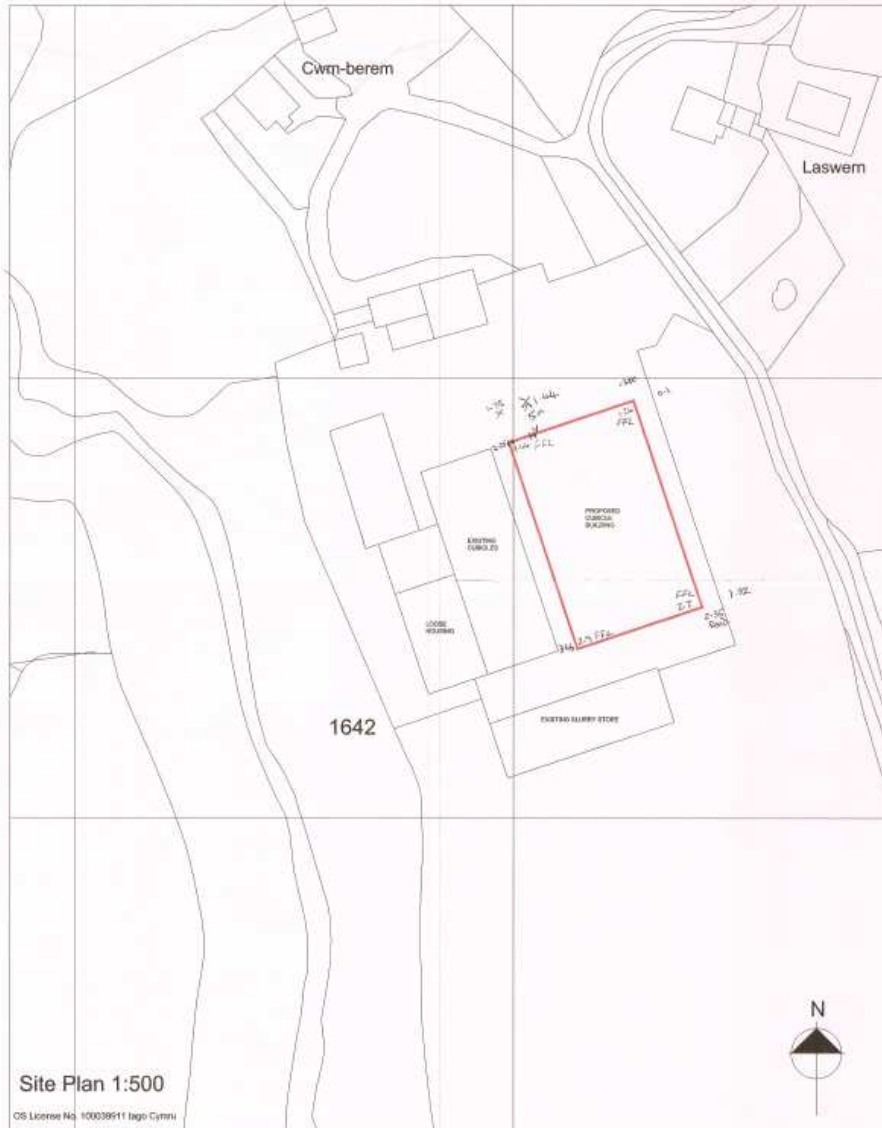
S/34180



S/34180

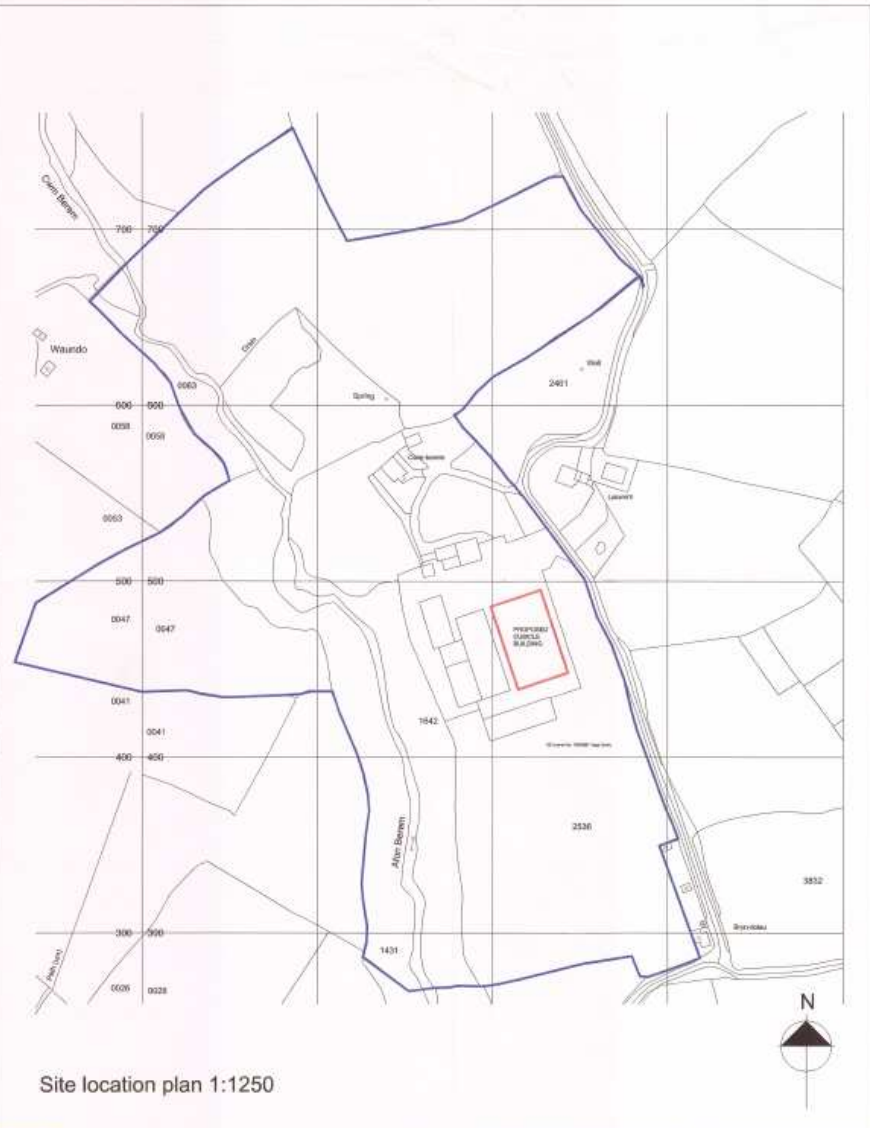


S/34180



Site Plan 1:500

OS Licence No. 100039511 Iago Cymru



Site location plan 1:1250

NOTES

1. IF IN DOUBT, ASK
2. DO NOT SCALE: USE WRITTEN DIMENSIONS ONLY
3. THIS DRAWING IS CONFIDENTIAL AND REMAINS THE EXCLUSIVE PROPERTY OF ASAS. DO NOT COPY UNLESS AUTHORISED.

REVISIONS

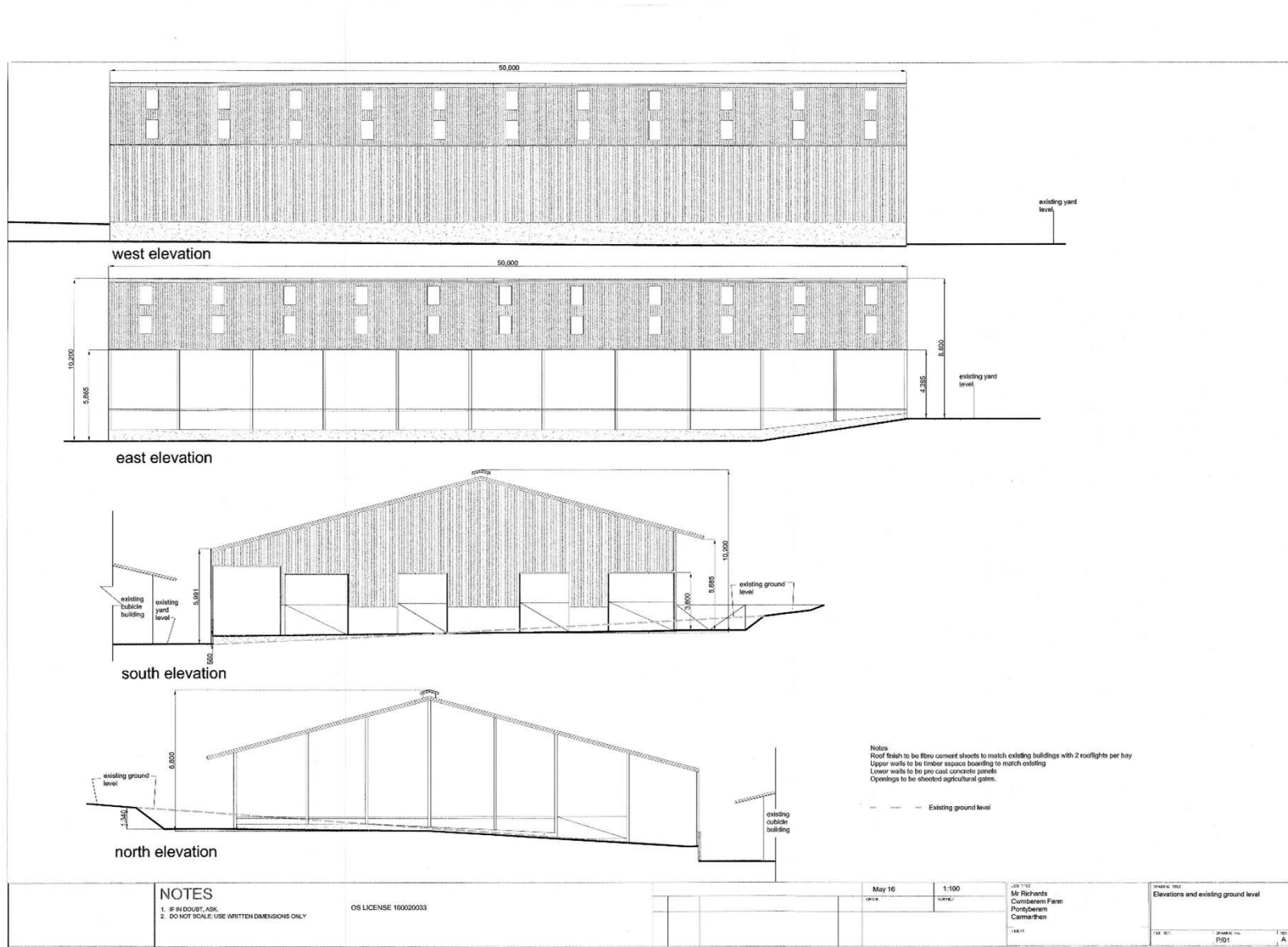
| No. | Date | Description | By |
|-----|------|-------------|----|
| | | | |

| | |
|----------|-------|
| May 2016 | 1:500 |
| 2016 | 2016 |
| idw | |

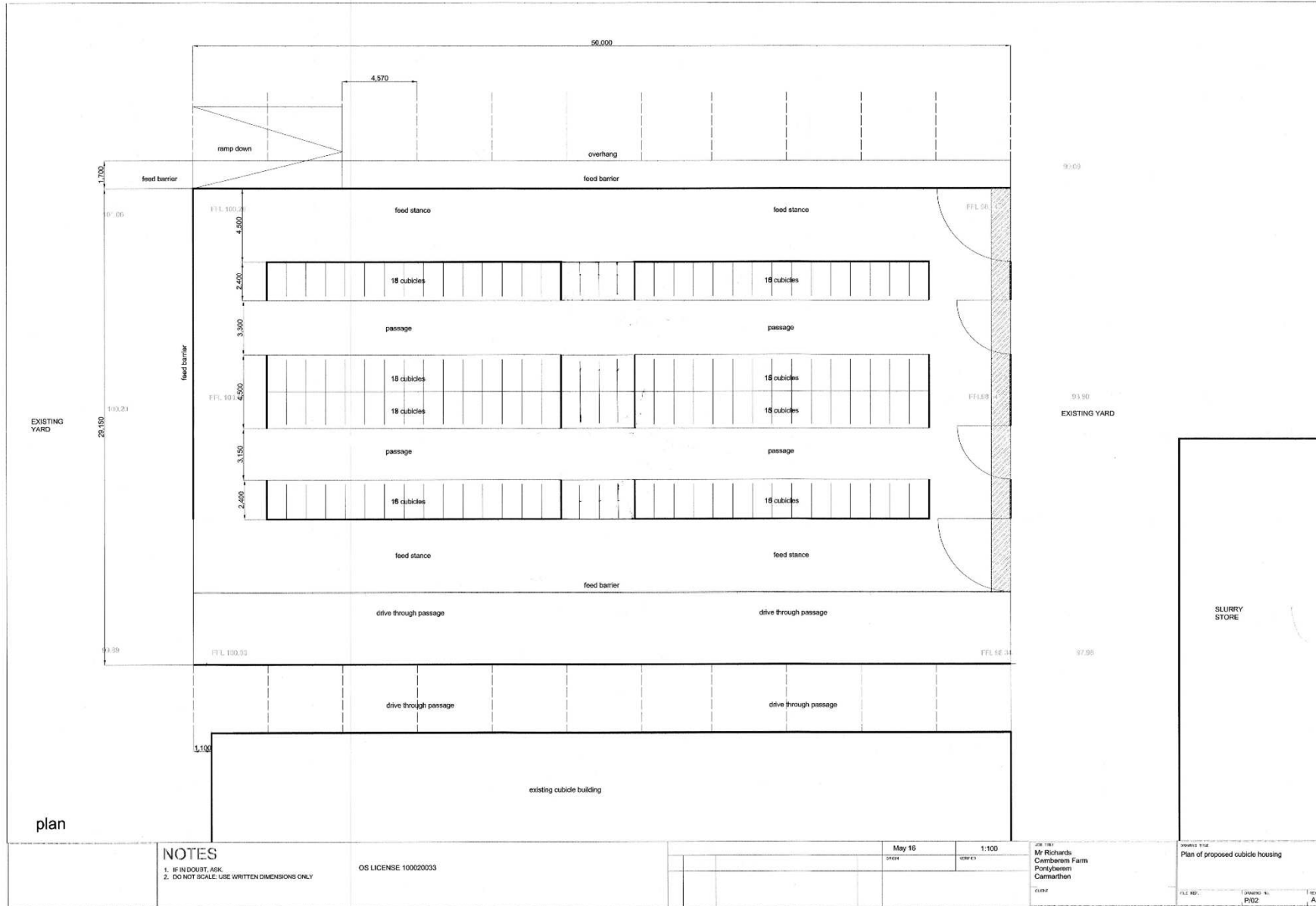
| | |
|---------|---------------|
| DR: IFC | Mr Richards |
| | Cwmberem farm |
| | Porthybevan |
| | Comarthrean |
| | Cwmre |
| | |

| | | | |
|--|--|--|--|
| | | | |
| | | | |
| | | | |

S/34180



S/34180

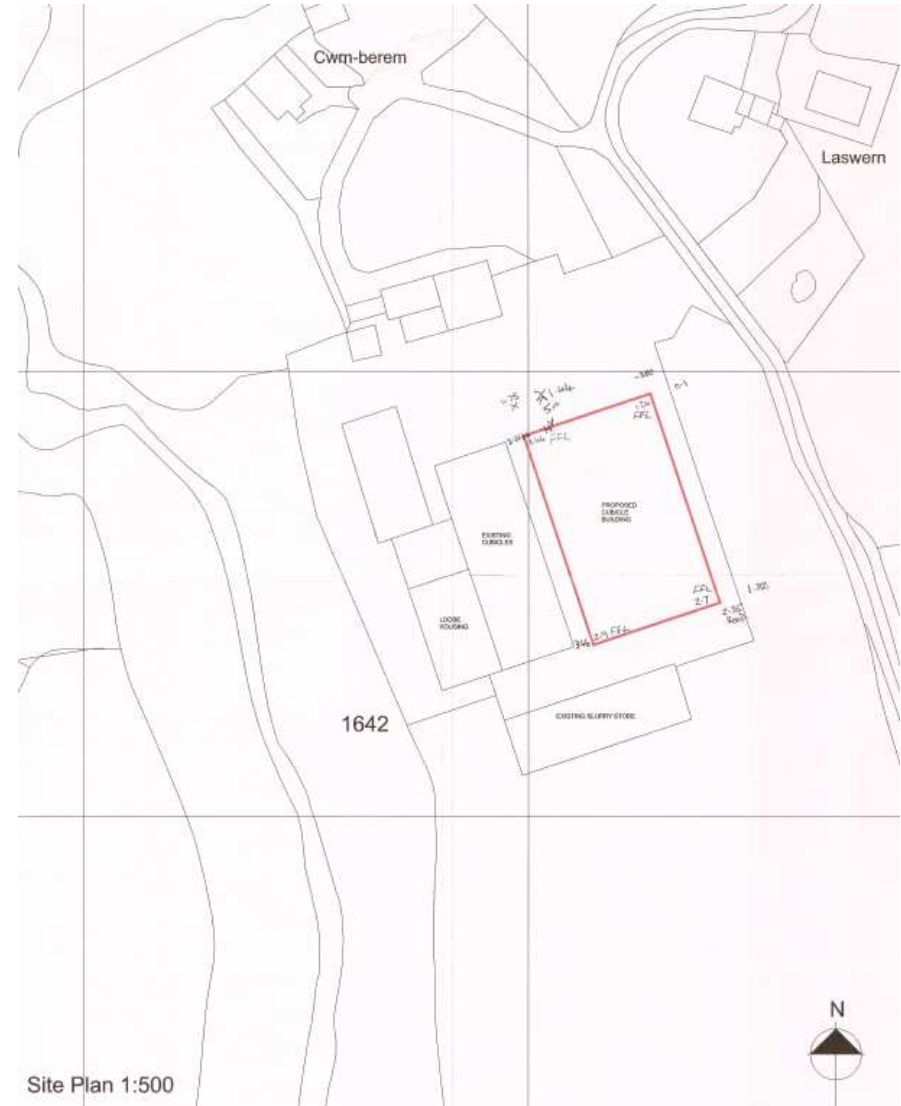


S/34180

Approved (S/32710)



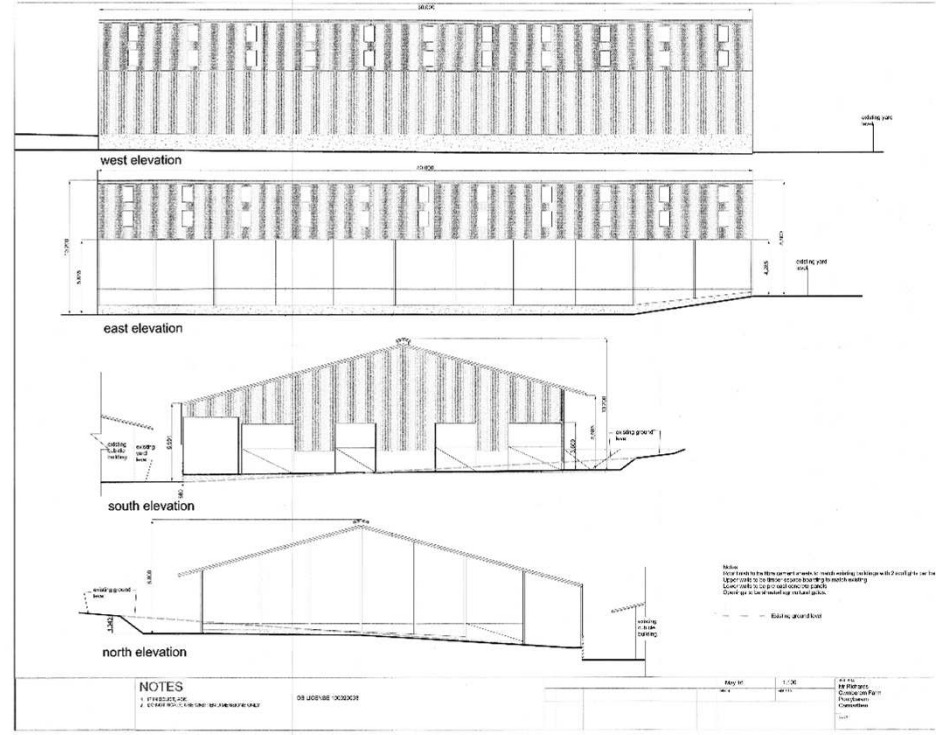
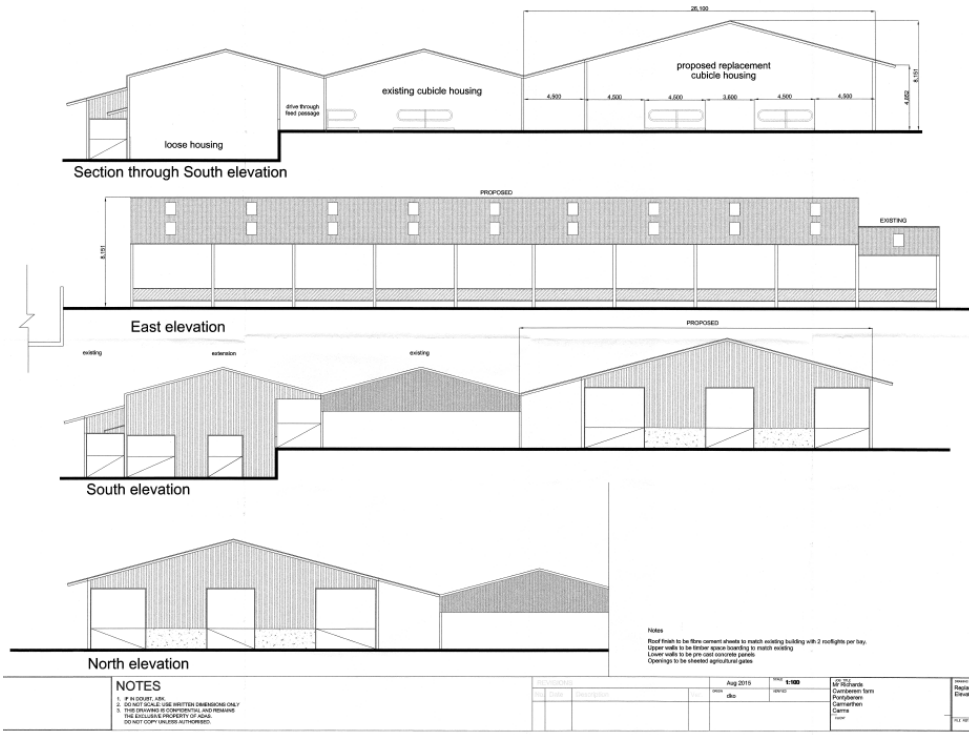
As Built (S/34180)



S/34180

Approved (S/32710)

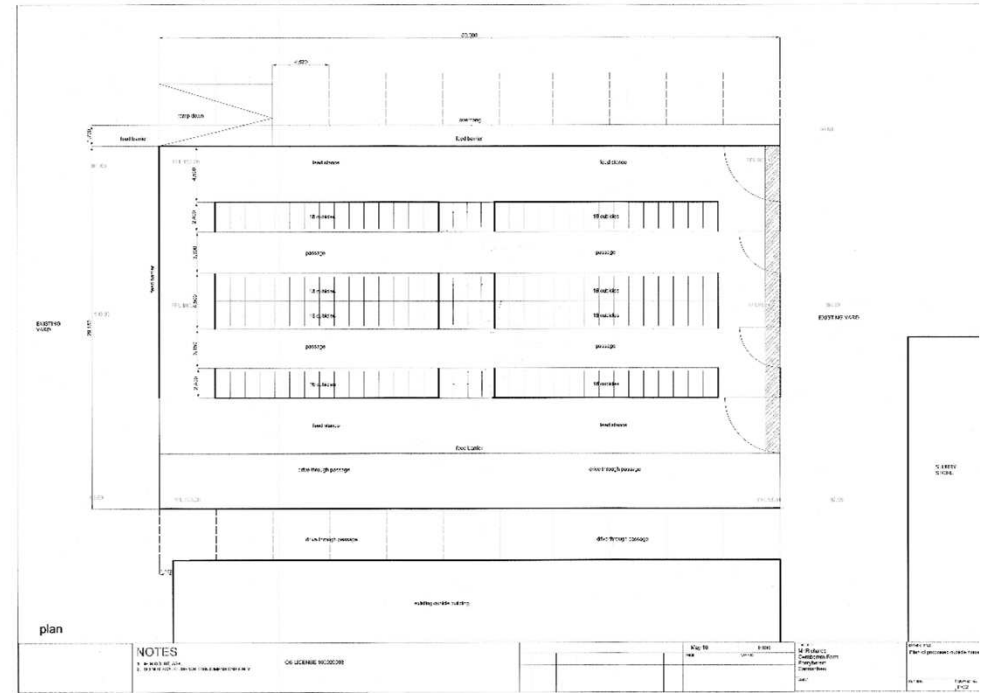
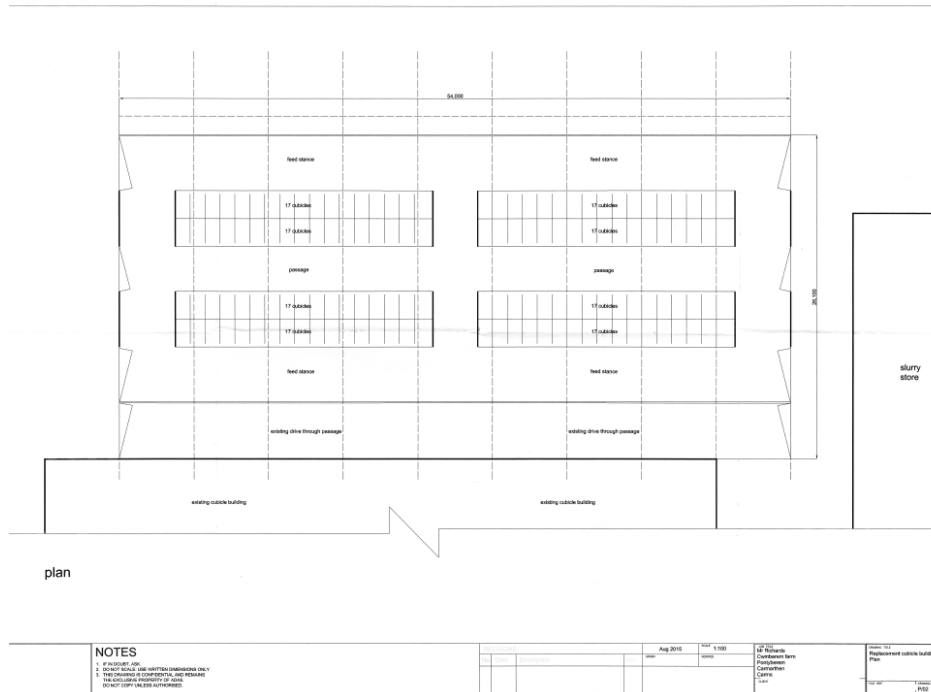
As Built (S/34180)



S/34180

Approved (S/32710)

As Built (S/34180)



S/34180



S/34180



Tudalen 67

Tudalen 68

S/34180



S/34180



Tudalen 70

S/34180



S/34180



S/34180



S/34180



S/34180



S/34180



Tudalen 75

Tudalen 76

S/34180





***Y PWYLLGOR
CYNLLUNIO***

04 EBRILL 2019

***RHANBARTH Y
GORLLEWIN***


**PLANNING
COMMITTEE**

04 APRIL 2019

**AREA
WEST**

***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

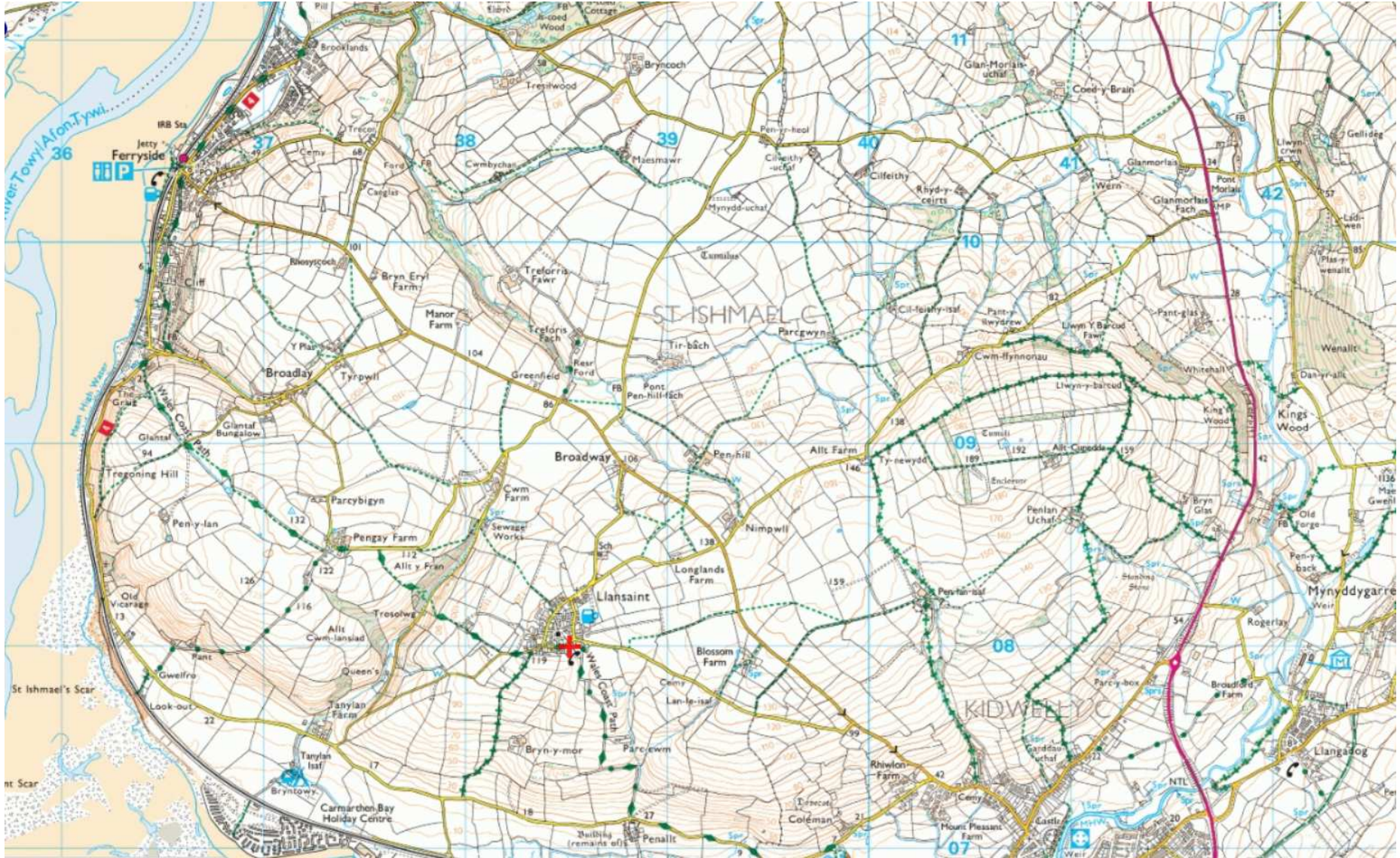
**APPLICATIONS RECOMMENDED
FOR APPROVAL**



W/38461

Tudalen 80

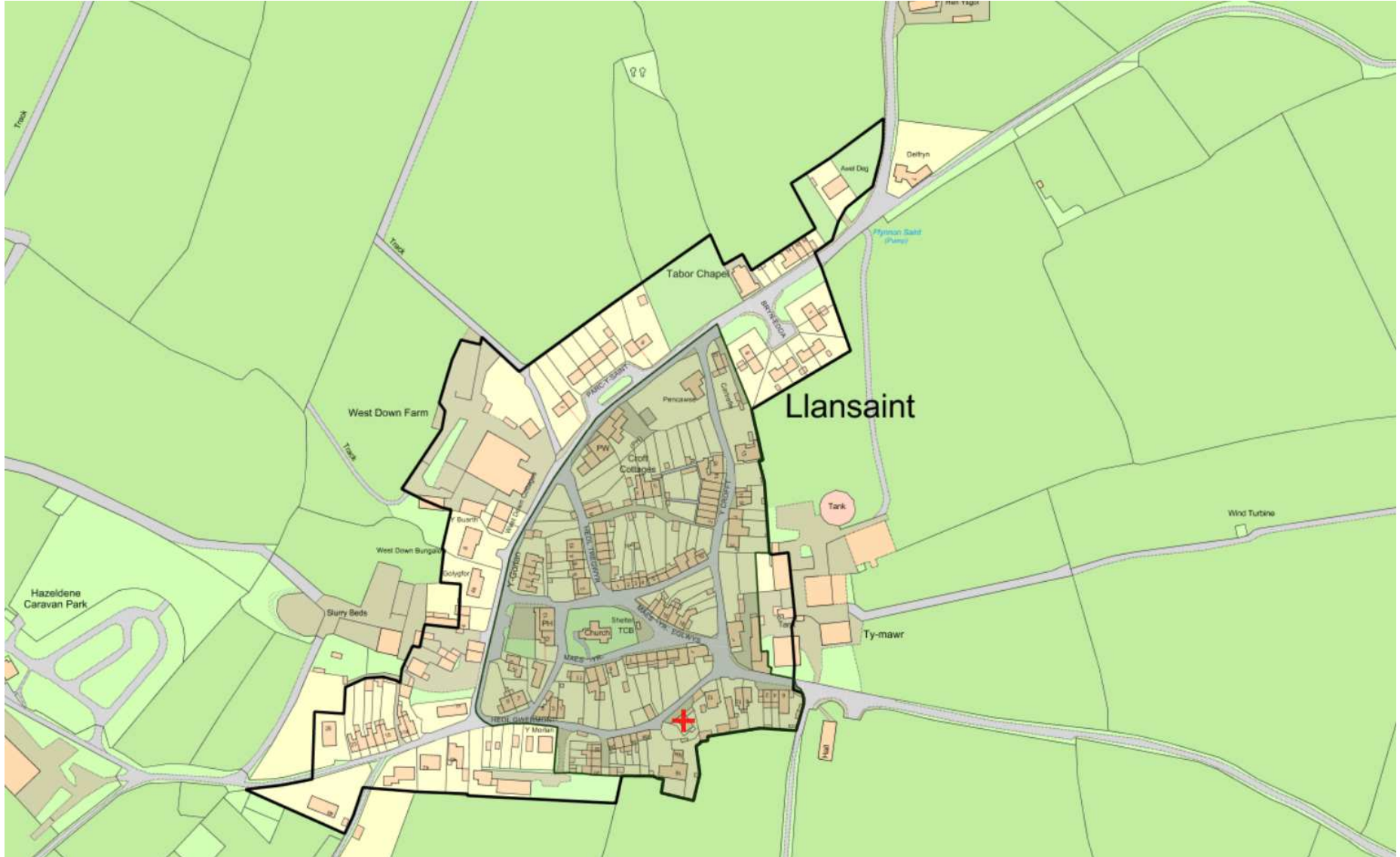
W/38461



W/38461




W/38461



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yng nghyfraith Cymru
y 2010

Planning Drawing Issue No 1
Submission Date: 16.11.2018

NODIADAU/NOTES

MAWR LLAWR HWN WEDI'Y WMBLW AR GYFRADUR, NI DDYLLID GYMRHO GYDA LLAW (AUSCAD LT / Revd 2018)

THIS IS A CAD PRODUCED DRAWING, AND SHOULD NOT BE AMENDED BY HAND (AUSCAD LT / Revd 2018)

CYFADDASIAD LLAWR ISAF
GROUND FLOOR ACCOMMODATION

See Drawing

CYFADDASIAD LLAWR CYNTAF
FIRST FLOOR ACCOMMODATION

See Drawing

PROTECTION OF DRAINS

All drains within 1.0m of building to be enclosed in concrete

Drains through walls to be protected both side with non-degradable sheets and with prestressed bricks support above walls.

SOIL/WASTE CONNECTIONS

All Soil/Waste connections to sizes shown below

4) 100mm dia up to 6.0m
5) 150mm dia up to 1.7m / 40 dia up to 3.0m
6) 200mm dia up to 1.7m / 40 dia up to 3.0m
7) 250mm dia up to 3.0m / 50 dia up to 4.0m
8) 300mm dia up to 3.0m / 50 dia up to 4.0m

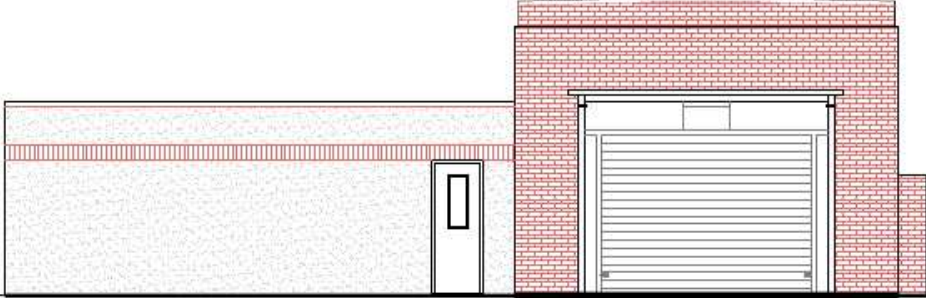
10) All traps to be 75mm dia (Date Seal Trap)

EXTERNAL FINISHES


For Specification of Finishes refer to Specification Drawings

BUILDING REGULATIONS

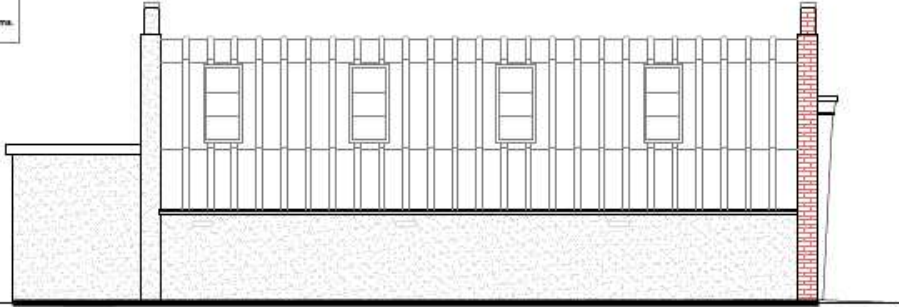
For Building Regulations Submission refer to or draw drawings for detailed information.
(Not Applicable to Planning Approval Submission)



Wyneb i'r Gogledd Gorllewin / North West Elevation – Existing




graddfa fedrig / scale in metres




Wyneb i'r Gogledd Dwyrain / North East Elevation – Existing


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Please refer and read this drawing in conjunction with the Bat Scoping Survey produced by Environment Systems. Surveyor: Laura Cottrell Date: 13/11/2018

| | | | | | | | |
|---|--|--|--|---------------------------------|--------------------------------------|-----------------------|-------------------------|
|  | <p>Client: Mrs Joe Lewis</p> | <p>Revision No: 1018/26</p> | <p>Level/Drawing Title: Existing Elevations</p> | <p>Scale/Block: 1:50</p> | | | |
| | <p>Project: Conversion of Former Cooperative Store to Residential Dwelling, 14 Heol Gwernont, Llansaint</p> | <p>Site/Plot/Title Name: Hgr: 1018/08</p> | <p>Level/Drawing No: PA/02</p> | <p>Operator: G. IAGO</p> | <p>Issue/Date: 15.10.2018</p> | <p>Client:</p> | <p>Designer:</p> |


LAGO Cymru C.CyF.
Three 2, Bryn, Llanarthfa, Gwent/2018. BA02 2018
Sustainable Solutions
Architectural Design Services, Project Management & Planning Services
Tel: 0165 091142 Email: info@lago-cymru.co.uk





W/38461

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Sustanaelol: Solutions
Cenffinco: Cymal Iechyd
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Planning Drawing Issue No 1
Submission Date: 16.11.2018

NODIADAU/NOTES

MAYR LLIND HAW WEDI GYFLWELIO AR GYFFRADUR, 14 DEYL GYWRD GYDA LLAW (AUSCAD LT / Revd 2018)

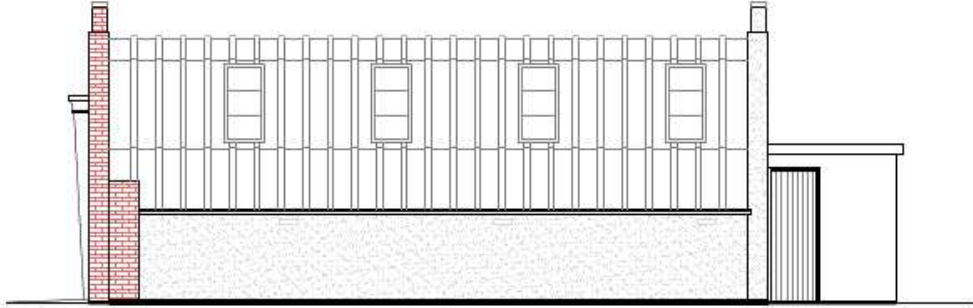
THIS IS A CAD PRODUCED DRAWING AND SHOULD NOT BE AMENDED BY HAND (AUSCAD LT / Revd 2018)

CYFADDASIAD LLAWR ISAF
GROUND FLOOR ACCOMMODATION


See Drawing

CYFADDASIAD LLAWR CYNTAF
FIRST FLOOR ACCOMMODATION

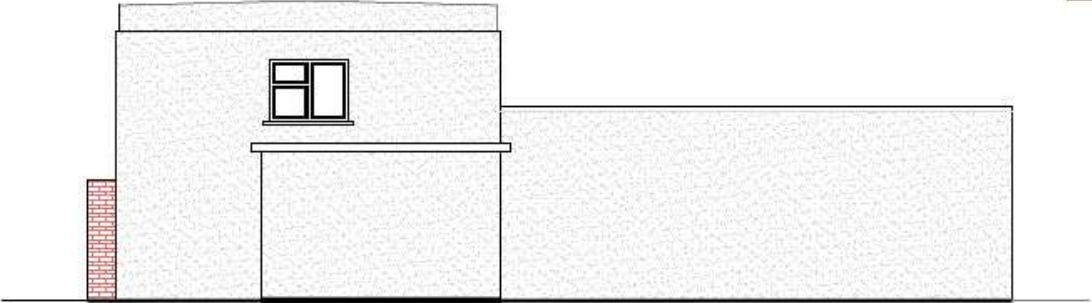
See Drawing




Wyneb i'r De Gorllewin / South West Elevation – Existing



graddfa fedrig / scale in metres



Wyneb i'r De Dwyrain / South East Elevation – Existing

 please refer and read this drawing in conjunction with the Bat Scoping Survey produced by Environment Systems Surveyor Laure Cottrell. Dated: 13/11/2018

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PROTECTION OF DRAINS

All drains within 1.0m of building to be enclosed in concrete

Drains through walls to be protected both sides with non-degradable sheets and with cross-wedged timber support above walls.

SOIL/WASTE CONNECTIONS

All Soil/Waste connections to agree shown below:

- a) WCs 100 diam up to 0.0m
- b) WCs 100 diam up to 1.7m / 40 diam up to 3.0m
- c) WCs 100 diam up to 1.7m / 40 diam up to 3.0m
- d) Sinks 40 diam up to 3.0m / 50 diam up to 4.0m
- e) Showers 40 diam up to 3.0m / 50 diam up to 4.0m


MF: All traps to be 75mm dia. Daily Seal traps

EXTERNAL FINISHES

For Specification of Finishes refer to Section Drawings



BUILDING REGULATIONS

For Building regulations Submission refer to the Series drawings for detailed information
(Not Applicable to Planning Approval Submission)

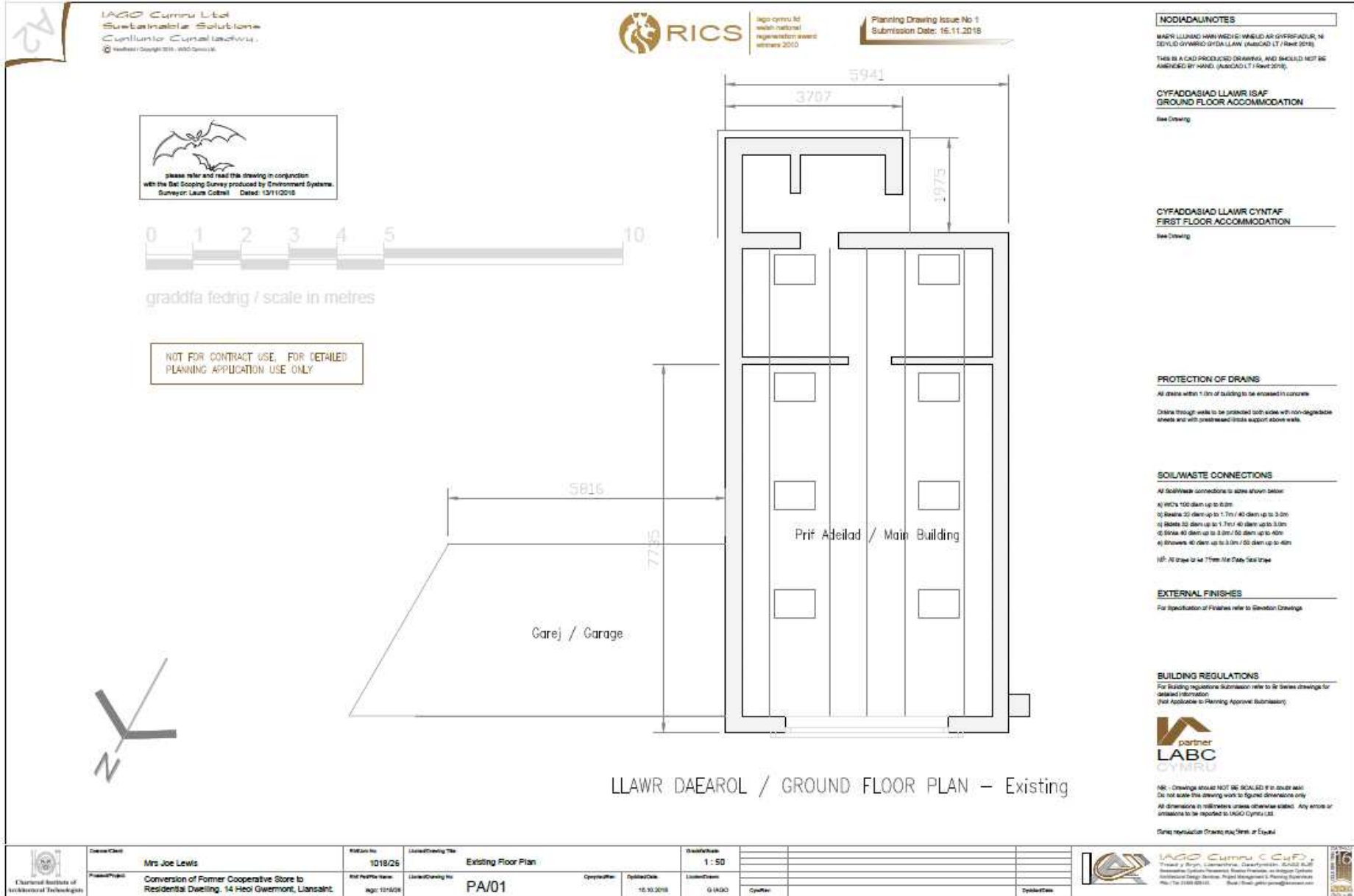


LABC CYMRU
partner

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Terms, conditions & drawings may differ or equal

| | | | | | | | |
|---|---|---|--|---|--|---------------------|---|
|  | <p>Client/Client: Mrs Joe Lewis</p> <p>Project/Project: Conversion of Former Cooperative Store to Residential Dwelling, 14 Heol Gwermont, Llanstaint.</p> | <p>Ref/Ref No: 1018/26</p> <p>Agg: 101603</p> | <p>Issue/Drawing Title: Existing Elevations</p> <p>Issue/Drawing No: PA/03</p> | <p>Created/Rev: 10.10.2018</p> <p>Drawn/Drawn: G LAGO</p> | <p>Scale/Scale: 1 : 50</p> <p>Cyflwyn: []</p> | <p>Cyflwyn: []</p> |  <p>LAGO Cymru Ltd 1018/26</p> |
|---|---|---|--|---|--|---------------------|---|

W/38461



| | | | | | | | | |
|--|--|--|--|------------------------------|------------------------------|------------------------------------|------------------------------------|--|
| | Client: Mrs Joe Lewis | Revision No: 101826 | Level/Drawing Title: Existing Floor Plan | Scale: 1:50 | | | | |
| | Project: Conversion of Former Cooperative Store to Residential Dwelling, 14 Heol Gwernont, Llansant. | Ref Profile Name: ag: 121628 | Level/Drawing No: PA/01 | Created/By: G IAGO | Updated/By: G IAGO | Created/Date: 15.10.2018 | Updated/Date: 15.10.2018 | |

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Planning Drawing Issue No 1
Submission Date: 15.11.2018

NODIADAU/NOTES

MAE'R LUNNAD HANWED DI-WAELD AN GYFRIFADUR, NI DDIGIDU GWYBODA PRIDU LLAWR (GWYBODA IY' DDAED 0038)

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CYFADDASIAD LLAWR ISAF
GROUND FLOOR ACCOMMODATION

| | |
|---------------------|-------------|
| Kitchen | 3200 x 2000 |
| Dining | 2100 x 4000 |
| Living | 2100 x 1900 |
| Hall | 2100 x 2100 |
| Living / Sun Lounge | 3240 x 4000 |

Garage: 3200 x 6000

CYFADDASIAD LLAWR CYNTAF
FIRST FLOOR ACCOMMODATION

| | |
|-----------|-------------|
| Bedroom 1 | 3240 x 4000 |
| Bedroom 2 | 1800 x 1400 |
| Bedroom 3 | 2100 x 2300 |
| Bedroom 4 | 2600 x 4000 |
| En-suite | 2100 x 1900 |

Ground Floor Area = 60 square metres (Garage: 14 square metres)
First Floor Area = 60 square metres
Total Floor Area including Garage = 104 square metres (140 square feet)

PROTECTION OF DRAINS

All drains within 1.0m of building to be enclosed in concrete

Drains through walls to be protected both sides with non-degradable bricks and with prestressed brick support above walls.

SOIL/WASTE CONNECTIONS

All Soil/Waste connections to pipes shown below:

- a) 1/2" x 100 diam up to 6.0m
- b) 3/4" x 32 diam up to 1.7m / 40 diam up to 3.0m
- c) 1" x 32 diam up to 1.7m / 40 diam up to 3.0m
- d) 1" x 40 diam up to 3.0m / 50 diam up to 4.0m
- e) 1 1/2" x 40 diam up to 3.0m / 75 diam up to 4.0m

NB: All traps to be 75mm 1/2" Day-Seal traps

EXTERNAL FINISHES

For specification of Finishes refer to Elevation Drawings

BUILDING REGULATIONS

For Building Regulations Submission refer to 04/2018 drawings for detailed information
(Not Applicable to Planning Approval Submission)



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Consent/variation Drawings may differ in Format



Wynneb I'r Gogledd Dwyrain / North East Elevation - Proposed



Wynneb I'r Gogledd Gorllewin / North West Elevation - Proposed

NOT FOR CONSTRUCTION. FOR GENERAL GUIDANCE INFORMATION ONLY



Wynneb I'r De Dwyrain / South East Elevation - Proposed




Wynneb I'r Gogledd Dwyrain / North East Elevation - Proposed

Scale: 1:100 (Scale in metres)

| | | | | | | | | | |
|---|-----------------|---------|---------|---------------------|---------------|--------|-------------|------------|------------|
|  | Client/Client | 1019/26 | 1019/26 | Proposed Elevations | Scale/Scale | 1:100 | | | |
| | Project/Project | 1019/26 | 1019/26 | PA/05 | Client/Client | G LAGO | Issue/Issue | 15.10.2018 | 15.10.2018 |
| Conversion of Former Cooperative Store to Residential Dwelling, 14 Heol Gwermont, Llansant. | | | | | | | | | |

W/38461

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RICS
Chartered Institute of
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since 1838

Planning Drawing Issue No 1
Submission Date: 15.11.2018

NODIADAU/NOTES

MAPP LUNING HMW MWEDD: MWLID AR GYFRIFADUR, 14 DEVLID GWYRD OYDA LLAW (AUSCAD LT / Rev 2018)

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CYFADDASIAD LLAWR ISAF
GROUND FLOOR ACCOMMODATION


| | |
|---------------------|-------------|
| Kitchen | 2200 x 2300 |
| Dining | 2700 x 4500 |
| Living | 2700 x 1500 |
| Hall | 3700 x 2700 |
| Living / Sun Lounge | 5340 x 4400 |
| Garage | 2200 x 5000 |

CYFADDASIAD LLAWR CYNTAF
FIRST FLOOR ACCOMMODATION

| | |
|-----------|-------------|
| Bedroom 1 | 5340 x 4400 |
| W.C. | 1800 x 1400 |
| Bathroom | 2700 x 2300 |
| Bedroom 2 | 5000 x 4400 |
| En-suite | 2700 x 1800 |

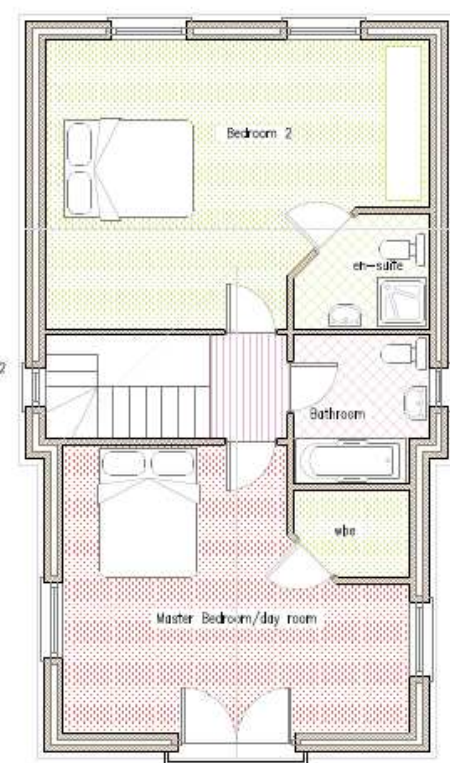
Ground Floor Area = 60 square metres - (Garage: 14 square metres)
First Floor Area = 60 square metres
Total Floor Area including Garage = 134 square metres (140 square feet)

NOT FOR CONTRACT USE. FOR DETAILED PLANNING APPLICATION USE ONLY




LLAWR DAEAROL / GROUND FLOOR PLAN


No 12



LLAWR CYNTAF / FIRST FLOOR PLAN





BUILDING REGULATIONS
For Building Regulations submission refer to the below drawings for detailed information.
(Not applicable to Planning Approval submission)



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Partner
LAGO
CYMRU


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Some restrictions Grants may apply or Exempt.

| | | | | | | | |
|---|--|---|---|--|---|--|---|
|  | <p>Client/Client Mrs Joe Lewis</p> | <p>Ref/Ref No 1018/26</p> | <p>Used/Using Title Proposed Floor Plans</p> | <p>Scale/Scale 1 : 50</p> | | | |
| | <p>Project/Project Conversion of Former Cooperative Store to Residential Dwelling, 14 Heol Gwermont, Llansaint.</p> | <p>Ref/Ref No/Ref No sgr/ 101608</p> | <p>Used/Using No PA/04</p> | <p>Created/Drawn G LAGO</p> | <p>Created/Date 15.10.2018</p> | <p>Created/Drawn G LAGO</p> | <p>Created/Date 15.10.2018</p> |



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Partner
LAGO
CYMRU

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W/38461



Tudalen 89

Tudalen 90

W/38461



W/38461



Tudalen 91

Tudalen 92

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Tudalen 95

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